

PM-16-00016



# KITTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTITAS.WA.US

Office (509) 962-7506

Fax (509) 962-7682

"Building Partnerships - Building Communities"

## PREAPPLICATION CONFERENCE APPLICATION & MEETING SUMMARY

*(To be completed for each Preapplication Conference)*

Please type or print clearly in ink. A preapplication conference is required prior to submittal of a building permit for any commercial or multi-family project (not including 2-family dwellings) and for certain land use applications per KCC 15A.03.020. The following items must be attached to the application packet and is required to be submitted prior to scheduling of the preapplication conference.

### REQUIRED ATTACHMENTS

- A scaled site plan showing lot area, proposed/existing buildings, setbacks, points of access, roads, parking areas, water system components, septic tank, drainfield, drainfield replacement area, areas to be cut and/or filled, and natural features (i.e. contours, streams, gullies, cliffs, etc.)
- Floor plan with minimum labeling to include uses of rooms, dimensions, plumbing & mechanical fixtures (if proposing structures other than residential and accessory)

### APPLICATION FEES

\$520.00 Kittitas County Community Development Services (KCCDS)

~~\$350.00 Kittitas County Environmental Health~~

\$110.00 Kittitas County Public Works

630.00 - ~~990.00~~ Fees due for this application

### FOR STAFF USE ONLY

Application Received By (CDS Staff Signature):

DATE:  
8/1/18

RECEIPT #  
1018 01850

RECEIVED  
AUG 01 2018  
KITTTITAS COUNTY, WA

DATE STAMP IN BOX

COMMUNITY PLANNING • BUILDING INSPECTION • PLAN REVIEW • ADMINISTRATION • PERMIT SERVICES • CODE ENFORCEMENT

FORM LAST REVISED: 05-21-2018

GENERAL APPLICATION INFORMATION

1. **Name, mailing address and day phone of land owner(s) of record:**

*Landowner(s) signature(s) required on application form.*

Name:

MITCH & JULIE WILLIAMS

Mailing Address:

P.O. BOX 1702

City/State/ZIP:

ELLENSBURG, WA 98926

Day Time Phone:

509 899-0148

Email Address:

MITCH@MFWILLIAMS.NET

2. **Name, mailing address and day phone of authorized agent, if different from landowner of record:**

*If an authorized agent is indicated, then the authorized agent's signature is required for application submittal.*

Agent Name:

Mailing Address:

City/State/ZIP:

Day Time Phone:

Email Address:

3. **Name, mailing address and day phone of other contact person**

*If different than land owner or authorized agent.*

Name:

Mailing Address:

City/State/ZIP:

Day Time Phone:

Email Address:

4. **Street address of property:**

Address:

7501 MANASTASH ROAD

City/State/ZIP:

ELLENSBURG, WA 98926

5. **Tax parcel number:** 825033 & 10485

6. **Property size:** BOTH PARCELS TOTAL 15.7 AC (acres)

7. **Land Use Information:**

Zoning: AG 20

Comp Plan Land Use Designation: RURAL-AG

8. **Proposed Water System (as defined by KCC 13.03) NOTE: Show location of water system on site plan.**

Group A     Group B     Individual     Shared     Cistern     Other: N/A

9. **Proposed Sewage Disposal:**

N/A

10. List any Buildings or Structures including sq. ft. & no. of stories proposed: NEW BRIDGE 940 SQ.FT.

11. Proposed Project Name: WILLIAMS BRIDGE

12. Type of proposed project (circle one):

Cluster/Conservation Plat

Planned Unit Development

Master Planned Resort

Conditional Use Permit

Shoreline Permit

Rezone

Preliminary Plat over nine (9) lots

Commercial Building

**PROJECT NARRATIVE**

*Include responses as an attachment to this application*

13. Narrative project description (include as attachment): Please include at minimum the following information in your description: describe project size, location, description of water system, sewage disposal, proposed buildings or structures, proposed uses for the project and all qualitative features of the proposal; include every element of the proposal in the description. SEE ATTACHED

14. Provision of the zoning code applicable: \_\_\_\_\_

**AUTHORIZATION**

15. Application is hereby made for permit(s) to authorize the activities described herein. I certify that I am familiar with the information contained in this application, and that to the best of my knowledge and belief such information is true, complete, and accurate. I further certify that I possess the authority to undertake the proposed activities. I hereby grant to the agencies to which this application is made, the right to enter the above-described location to inspect the proposed and or completed work.

All correspondence and notices will be transmitted to the Land Owner of Record and copies sent to the authorized agent or contact person, as applicable.

Signature of Authorized Agent:  
(REQUIRED if indicated on application)  
X \_\_\_\_\_

Date:  
\_\_\_\_\_

Signature of Land Owner of Record  
(Required for application submittal):  
X Williams

Date:  
Aug. 1, 2018

**FOR STAFF USE ONLY**

Date of Pre-Application Meeting: \_\_\_\_\_ Time: \_\_\_\_\_  
Pre-application meetings are scheduled typically on Wednesdays.

**List persons present at pre-app meeting:**

Meeting Moderator: \_\_\_\_\_

*To be present at each pre-app:*

1. CDS representative (planning): \_\_\_\_\_
2. CDS representative (building): \_\_\_\_\_
3. Fire Marshal representative: \_\_\_\_\_
4. Public Works representative: \_\_\_\_\_
5. Environmental Health representative (water): \_\_\_\_\_
6. Environmental Health representative (sewer): \_\_\_\_\_
7. Others present: \_\_\_\_\_

*Present at pre-app for project: (attach business cards if available)*

Applicant: \_\_\_\_\_  
Application phone: \_\_\_\_\_  
Application email: \_\_\_\_\_

Applicant authorized agent (if applicable): \_\_\_\_\_  
Applicant authorized agent phone: \_\_\_\_\_  
Applicant authorized agent email: \_\_\_\_\_

Others present for applicant: \_\_\_\_\_

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*\*The Kittitas County Community Development Services Department does not guarantee a parcel eligible for development until such time as a complete and accurate application is submitted. Further analysis may be conducted at the time of permit application.*

**Items/issues/concerns/questions discussed (To be filled in by staff during preapplication conference):**

**1. Planning/Land Use**

Critical Areas conducted \_\_\_\_\_ SEPA \_\_\_\_\_

**2. Building**

Type of Building (res., comm., etc.): \_\_\_\_\_ Building Use classification: \_\_\_\_\_

3. Fire

Located within Fire District # \_\_\_\_\_ (if applicable)

4. Public Works

Proposed access:

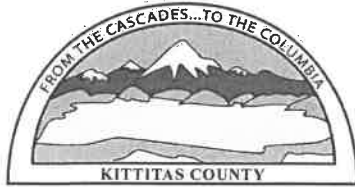
5. Environmental Health (water)

Proposed water supply:

6. Environmental Health (sewer)

Proposed sewer disposal:

7. Others present: (if applicable)



**KITTITAS COUNTY  
COMMUNITY DEVELOPMENT SERVICES**

**Receipt Number: CD18-01880**

411 N. Ruby St., Suite 2  
Ellensburg, WA 98926  
509-962-7506 / <https://www.co.kittitas.wa.us/cds/>

**Payer/Payee:** WILLIAMS, MITCHELL F  
PO BOX 1702  
ELLENSBURG WA 98926-1929

**Cashier:** RACHEL KANE  
**Payment Type:** CHECK (5092)

**Date:** 08/01/2018

**PM-18-00016 Pre-Application Meeting 7501 MANASTASH RD ELLENSBURG**

<u>Fee Description</u>	<u>Fee Amount</u>	<u>Amount Paid</u>	<u>Fee Balance</u>
Pre-Application / Pre-Submission (Public Works)	\$110.00	\$110.00	\$0.00
Pre-Application / Pre-Submission (Planning)	\$520.00	\$520.00	\$0.00
<b>PM-18-00016 TOTALS:</b>	<b>\$630.00</b>	<b>\$630.00</b>	<b>\$0.00</b>
<b>TOTAL PAID:</b>		<b>\$630.00</b>	



## KITTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 NORTH RUBY STREET SUITE #2 ■ ELLENSBURG, WA 98926  
PHONE (509) 962-7506 ■ FAX (509) 962-7682

# 27

ITEM

## BRIDGE REVIEW AND INSPECTION POLICY

FOR MORE INFORMATION VISIT THE CDS WEBSITE AT: [WWW.CO.KITTITAS.WA.US/CDS](http://WWW.CO.KITTITAS.WA.US/CDS)

A building permit is required to install, modify, alter or repair bridges in Kittitas County. Additional permits or approvals may include:

- A floodplain development permit for bridges within floodways and floodplains.
- A shoreline permit for bridges within the jurisdiction of the Shoreline Management Program.
- Preliminary Site Analysis (PSA)
- A Hydraulic Project Approval (HPA) for bridges in or near state waters.
- A crossing agreement for bridges crossing canals or laterals.

Following is a list of Kittitas County review and inspection procedures. Other State or Federal agencies may have additional requirements.

### **Required Building Department review and inspections:**

- Structural Engineering.
- Property setbacks and footings.
- Foundations and retaining walls.
- Girder and decking connections.
- Final inspection for armoring and finishing.
- Verification of all special inspections completed (if applicable).

### **Required Planning Department review and inspections (if applicable):**

- Shoreline permit and PSA review prior to application of building permit.

### **Required Public Works review and inspections (if applicable):**

- Review to ensure compliance with KCC 12.07 Bridges.
- Flood permit prior to application of building permit.
- Final inspection to verify the floodplain development permit requirements are met.
- Verification of right of way and access requirements (if applicable).



**Required Fire Marshal review and inspections:**

- Review to ensure compliance with KCC 20.02.050 Bridges, including bridge width and live load rating.
- Final inspection for compliance to KCC 20 Fire and Life Safety standards, including inspection of required signage indicating load capacity.

**Required WDFW or Ecology review and inspections (if applicable):**

- HPA required prior to issuance of building permit or floodplain development permit.
- A final approval letter from Washington Department of Fish and Wildlife and/or the Department of Ecology.

Only after the above review and inspections have been successfully completed and all conditions of the permit(s) have been met can the building inspector sign off the final on the permit card.

DATE: 9/8/16

BUILDING OFFICIAL: 



KITTTAS COUNTY COMMUNITY DEVELOPMENT SERVICES

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"Building Partnerships - Building Communities"

PSA-18-00355

PRELIMINARY SITE ANALYSIS

The PSA provides general information about a parcel and must be completed prior to applying for a building permit. Please provide a scaled Site Plan with this application if project specific. This review will be completed within 7-10 business days.

FEE: \$230.00 (\$130.00 Community Development Fee + \$100 Public Works Fee)

1. REQUESTER INFORMATION

Name: MITCH & JULIE WILLIAMS Phone Number: 509 899-0168
Mailing Address: P.O. BOX 1702 : ELLENSBURG, WA 98926
Email: MITCH@MFWILLIAMS.NET Send PSA by: [X] mail [ ] mail

2. ADDITIONAL CONTACT INFORMATION:

Name: JULIE WILLIAMS Phone Number: 509-899-1505
Mailing Address:
Email: JULIE@MFWILLIAMS.NET Send PSA by: [X] mail [ ] mail
Name: Phone Number:
Mailing Address:
Email: Send PSA by: [ ] Email [ ] Mail

3. PROPERTY ADDRESS: 7501 MANASTASH RD. ELLENSBURG, WA

4. MAP OR PARCEL NUMBER: 17-17-11040-0015 & 17-17-11040-0017

5. PROJECT DESCRIPTION (Site Plan required if proposing a project) : NEW BRIDGE OVER MANASTASH CREEK

6. ARE THERE OTHER BUILDINGS ON THE PROPERTY? [X] Yes [ ] No
IF YES, PLEASE LIST THE TYPE OF BUILDINGS: RESIDENCE & OUTBUILDINGS
7. DOES THE PROPOSED PROJECT INCLUDE PLUMBING? [ ] Yes [X] No
IS THERE AN EXISTING POTABLE WATER SOURCE? [X] Yes [ ] No
IF YES, PLEASE SELECT ONE OF THE FOLLOWING: [X] Individual Well [ ] Shared Well [ ] Public Water System

AUTHORIZATION

I hereby acknowledge that I have read this application and certify under penalty of perjury under the laws of the State of Washington that the above answers are true and complete to the best of my knowledge. I agree to comply with all current codes, laws, regulations and permit requirements related to this project. I hereby certify that I will pay all fees as required by law. All permit fees are non-refundable.

Signature of Applicant: [Handwritten Signature]

Date: JULY 14, 2018

Application Received By (CDS Staff Signature): [Handwritten Signature]

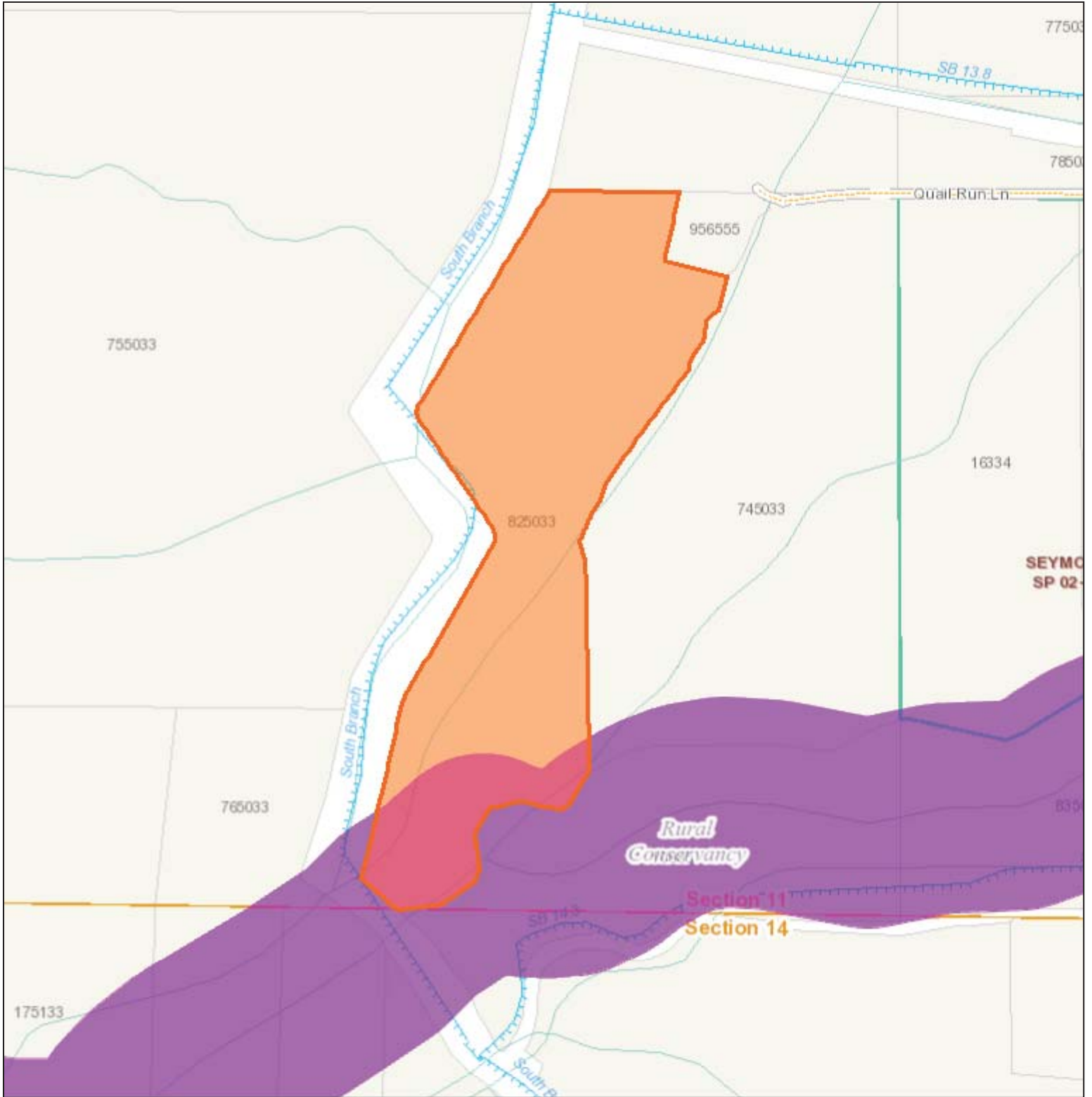
Date: 7-16-18

Receipt #: CD18-01699



NOTE: Kittitas County CDS cannot guarantee eligibility for development until a complete and accurate application is submitted. \*\*PSA applications expire after 365 days from the application date\*\*

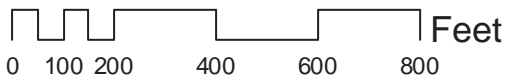
# Shoreline map for PSA PSA-18-00355



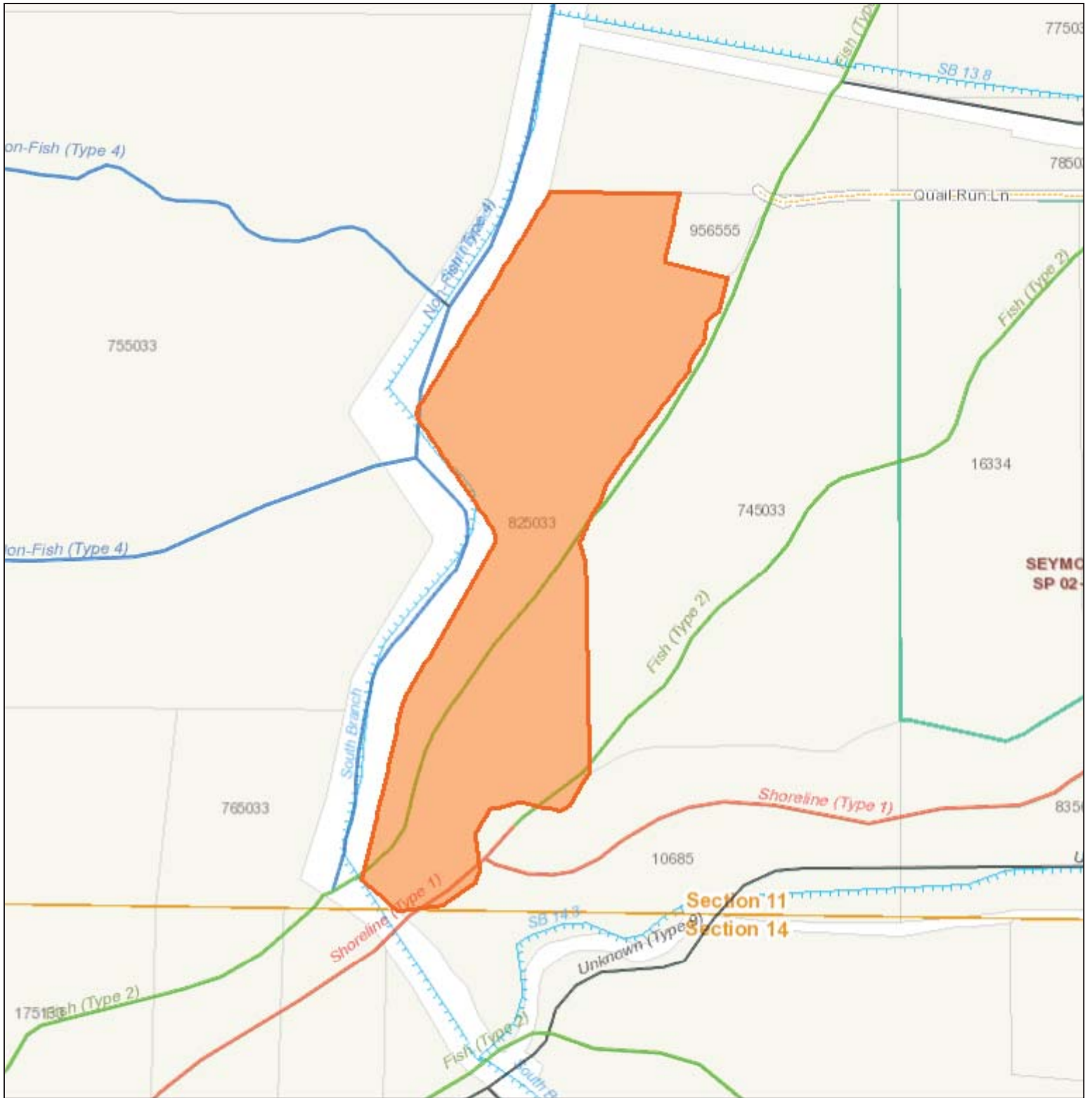
Date: 7/23/2018

1 inch = 376 feet  
Relative Scale 1:4,514

*Disclaimer:*  
Kittitas County makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data, its use, or its interpretation. Kittitas County does not guarantee the accuracy of the material contained herein and is not responsible for any use, misuse or representations by others regarding this information or its derivatives.



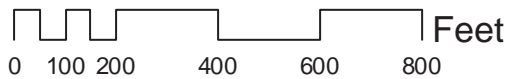
# Stream map for PSA PSA-18-00355



Date: 7/23/2018

1 inch = 376 feet  
Relative Scale 1:4,514

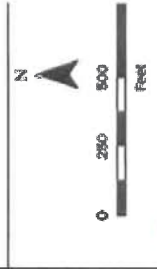
**Disclaimer:**  
Kittitas County makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data, its use, or its interpretation. Kittitas County does not guarantee the accuracy of the material contained herein and is not responsible for any use, misuse or representations by others regarding this information or its derivatives.



**Figure 1-10**  
**Flood and Erosion Overlay**  
**Canyon and Fall**  
**Expansion Reaches**

- Legend**
- Diversions
  - County Roads
  - Irrigation
  - Manastash Creek
  - Berm
  - Revetment
  - Fill
  - Bridges
  - May 2011 Erosion
  - May 2011 Sediment
  - May 2011 Flooding
  - River Mile

**Note:**  
 Layers including Berms, Revetment, Sediment, and Flood Erosion, Sediment, and Flood approximations based on aerial photos and topography and will be accurate or complete in all at River mile stationing included Manastash centerline.



**RECEIVED**  
 JUL 16 2018  
 Kittitas County CDS



## Preliminary Site Analysis Report

**PSA #:** PSA-18-00355      **Map #:** 17-17-11040-0015  
**Issue Date:** 7/25/2018      **Expiration Date:** 7/25/2019  
**Parcel #:** 825033      **Site address:** 7501 MANASTASH RD  
ELLENSBURG  
**Owner:** WILLIAMS, MITCHELL F  
PO BOX 1702  
ELLENSBURG, WA, 98926-1929  
MITCH@MFWILLIAMS.NET;  
JULIE@MFWILLIAMS.NET, 899-  
0168  
**Proposed use:** NEW BRIDGE OVER MANASTASH CREEK

## Land & Zoning

**Lot size:** 10.57 a  
**Land use:** Rural Working  
**Zoning:** Agriculture 20  
**Setback: Front:** 25  
**Setback: Side:** 5  
**Setback: Rear:** 25  
**-** 17.29.050 Yard requirements - Front yard. There shall be a minimum front yard of twenty-five (25) feet. 17.29.060 Yard requirements - Side yard. Side yard shall be a minimum of five (5) feet; on corner lots the side yard shall be a minimum of fifteen (15) feet on the side abutting the street. 17.29.070 Yard requirements - Rear yard. There shall be a rear yard with a minimum depth of twenty-five (25) feet to the main building.  
**In a platted development?:** No

**Urban Growth Area?:** No  
**Airport overlay:** No  
**BPA:** No  
**Forest Practices Act:** No  
**Mineral lands:** No

## Districts

**Irrigation district:** Yes  
**Irrigation district name:** KRD

- GIS data indicates that your parcel is located within the Kittitas Reclamation District boundary. Please contact KRD at 509-925-6158 if you have any question as to whether or not your parcel is served by KRD irrigation water.

**School district:** Yes  
**School district name:** Ellensburg School District

## Critical Areas

**Shoreline:** Yes  
**Shoreline environment:** Rural Conservancy

- Pursuant to KCC 17B.04.090.1, a Shorelines Substantial Development permit is required for this proposed project. Prior to the shorelines substantial development permit process, pursuant to KCC 15A.03.020, a pre-application conference is required. The pre-application conference form is available on the County Website. Please contact front desk staff to schedule the conference.

**DNR water:** Yes  
**DNR water type:** Type 2, Type 1, Type 4

- There is a Type 2 and Type 4 stream on the subject property. The Type 2 stream has a 40-100 foot buffer landward from the Ordinary High Water Mark (OHWM). The Type 4 stream has a 15 foot setback landward from the OHWM. The streams and setback/ buffer must be shown on the site plan at the time of building permit submittal. If you are proposing to build within 100 feet of the OHWM of the stream you will need to contact CDS planning for more information.

**Wetlands:** No

**Hazardous slope:** None

**Landslide area:** No

**Priority habitat species:** No

**Coal mine shaft:** No

**Channel Migration Zone:** Yes

**Channel Migration Zone Comments:** Please be aware that your project sits within a channel migration zone where a stream channel has been known to migrate. No additional permits are required, but mitigation and appropriate design are recommended.

## Design Criteria

**Ground snow load:** 62

- PLEASE SEE THE ATTACHED BRIDGE POLICY #27. DEPENDING ON LOCATION OF THE STRUCTURE ON THIS PARTICULAR SITE, BOTH EXPOSURES MAY BE APPLICABLE. PLEASE PROVIDE AN ACCURATE SITE MAP TO RECEIVE A DEFINITIVE ANSWER. UNTIL THEN, USE EXPOSURE FACTOR 1.2 FOR A CONSERVATIVE ANSWER.

**Wind speed:** 110 v ULT

**Seismic zone:** D1

**Frost depth:** 24"



## Access

<b>Existing permit number:</b>	-
<b>Access from:</b>	Private Road
-	Bridge replacements will be permitted through the Building Department and will meet required driveway width of 16' wide.
<b>Permit requirements:</b>	-
<b>Access must be constructed prior to :</b>	N/A
<b>Road Certification:</b>	Not required
<b>Existing Access:</b>	Review of site plan shows existing access is being used and there is no change in use. No further access requirements at this time.

## Flood

<b>Floodway:</b>	No
<b>Floodplain:</b>	Yes, 100-Year Floodplain
-	The activity proposed on this property is within the 100-year floodplain. All activities within the floodplain must be permitted through the floodplain development permit process. All construction, including structures that are exempt from a building permit, must follow the guidelines within KCC 14.08. Structures may be subject to mandatory flood insurance purchase requirements.

## Environmental Health

**Comments:**

Codes and regulations are subject to change; project applications shall adhere to current codes and regulations at time of permit submittal. It is your responsibility to know the water resource eligibility for your parcel.

Go to [taxsifter.co.kittitas.wa.us](http://taxsifter.co.kittitas.wa.us) and search critical areas under the mapsifter tab or contact Ecology water resources.

**NO PLUMBING IN PROPOSED STRUCTURE** If there is no plumbing in the proposed project, then no septic or water permits are required through the Kittitas County Public Health Department at this time.

**Water Requirements:**

All new uses of domestic, commercial or industrial water require mitigation and metering. To determine which water bank(s) serve your parcel go to

<http://gis.co.kittitas.wa.us/compas/default.aspx> and search for your address or parcel number.

Please call the Kittitas County Public Health Departments' Water Resources program at (509)962-7515 to discuss mitigation options.

Proof of mitigation is required prior to applying for a building permit (as part of the Adequate Water Supply Determination process). For more information, please see <http://www.co.kittitas.wa.us/health/services/water-bankingbuilding-permits.aspx>.

**WELL LOCATION** (County code 13.20.040 and WAC 173-160-171) All individual or shared wells must be placed: 1. **a minimum of fifty feet from all roads and property lines.**

The meaning of road for this Chapter shall include but is not limited to, any county, state or federal right of ways and any private road. Driveways are not considered roads under this Chapter. 2. **a minimum of five feet from any existing building structure or building projection.**

Water wells shall not be located in garages, barns, storage buildings or dwellings. When locating a nonpublic water well adjacent to a building, the well location shall be measured from the building sewer and closest building projection.

**Septic Requirements:**

To permit an on-site sewage system with Kittitas County Public Health please follow the steps below: 1. Site Evaluation 2. OSS Design 3. Installation 4. Inspection To view a more detailed narrative of this process, please visit our on-site sewage page at:

<http://www.co.kittitas.wa.us/health/services/liquid-waste.aspx>

Location:

1. An OSDS shall be located on the same lot as the premises being served, or if an easement is obtained and recorded, on other property if approved by the health officer.
2. The minimum distance for the location of the various component parts of the OSDS is measured horizontally and shall comply with Table 1.

	Building Sewer	Septic Tank	Disposal area
Domestic Water Supply	50	50	100
Water Supply Pressure Lin	10	10	10
Surface Water	10	50	100
Building Property Lin	-	5	10
Open Ditches, Cuts, Hill-sides (downhill side)	-	-	15 plus height of cut of bank to a maximum of 100 feet
Trees <sup>1</sup>	50	50	100
Trees <sup>2</sup>	10	10	10
Subsurface Interceptor Drain	10	10	50 down-slope, 10 up-slope

<sup>1</sup>: Elm, locust, cottonwood, willow, and other trees with spreading choking roots. <sup>2</sup>: Conifers and other trees with non-spreading and non-choking roots.

## Code Enforcement

**Existing Code Enforcement:** No

## Stormwater & Grading

**Stormwater Plans required:** No

**Grading Permit comments:** A grading permit is required for any filling or excavating prior to beginning work unless certain exemptions are met. Grading related to the construction of a private road is not exempt and requires a grading permit. Projects with quantities greater than 500 cubic yards require an engineered grading plan and a SEPA checklist. For more information visit: <http://www.co.kittitas.wa.us/public-works/development/grading-permit.aspx>

## Fire

**Wildland Urban Interface Code:** IR 1

**Fire district:** Yes

**Fire district name:** Kittitas Valley Fire and Rescue (Fire District 2)

**Required Defensible Space:** 100' - with sprinklers

- SEE ATTACHED WUIC AND DEFENSIBLE SPACE REQUIREMENTS. AREA OF DEFENSIBLE SPACE MUST BE OUTLINED ON SITE PLAN SUBMITTED FOR BUILDING PERMIT. IF THIS STRUCTURE CONTAINS HABITABLE SPACE, ADDITIONAL DEFENSIBLE SPACE WILL BE REQUIRED. YOU MAY BE ABLE TO MITIGATE BELOW THE IR RATING BY APPLYING FOR THE WUIC APPLICATION. NON-HABITABLE SPACES MORE THAN 50 FEET FROM HABITABLE SPACES DO NOT REQUIRE SPRINKLERS. PLEASE TELL US IF ANY PORTION OF THIS SHOP WILL BE USED FOR HUMAN HABITATION OR IT WILL BE CLOSER THAN 50 FEET TO HABITABLE SPACES.

## Site Plan

<b>Well/Septic:</b>	No
<b>Setbacks? :</b>	Yes
<b>Scale?:</b>	Yes
<b>All Structures? :</b>	N/A
<b>Critical Areas?:</b>	Yes
<b>Access? :</b>	Yes
<b>WUI Defensible Space? :</b>	No
<b>Easements?:</b>	No
<b>Comments:</b>	Final site plan must depict any applicable wells and septic systems to determine that setbacks and protection zones are observed, along with any applicable defensible space and easements.

*NOTE: Kittitas County CDS cannot guarantee eligibility for development until a complete and accurate application is submitted. Codes and regulations are subject to change; project applications shall adhere to current codes and regulations at time of permit submittal. \*\*PSA applications expire after 365 days from the application date\*\**

PROPOSE BRIDGE  
MITCH & JULIE WILLIAMS  
7501 MANASTASH RD.  
ELLENSBURG, WA.

# EXHIBIT

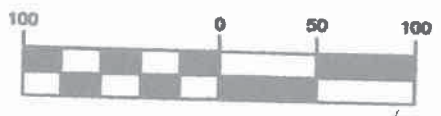
TAX PCL.  
17-17-11040-0007

TAX PCL.  
17-17-11040-0015

TAX PCL.  
17-17-11040-0017

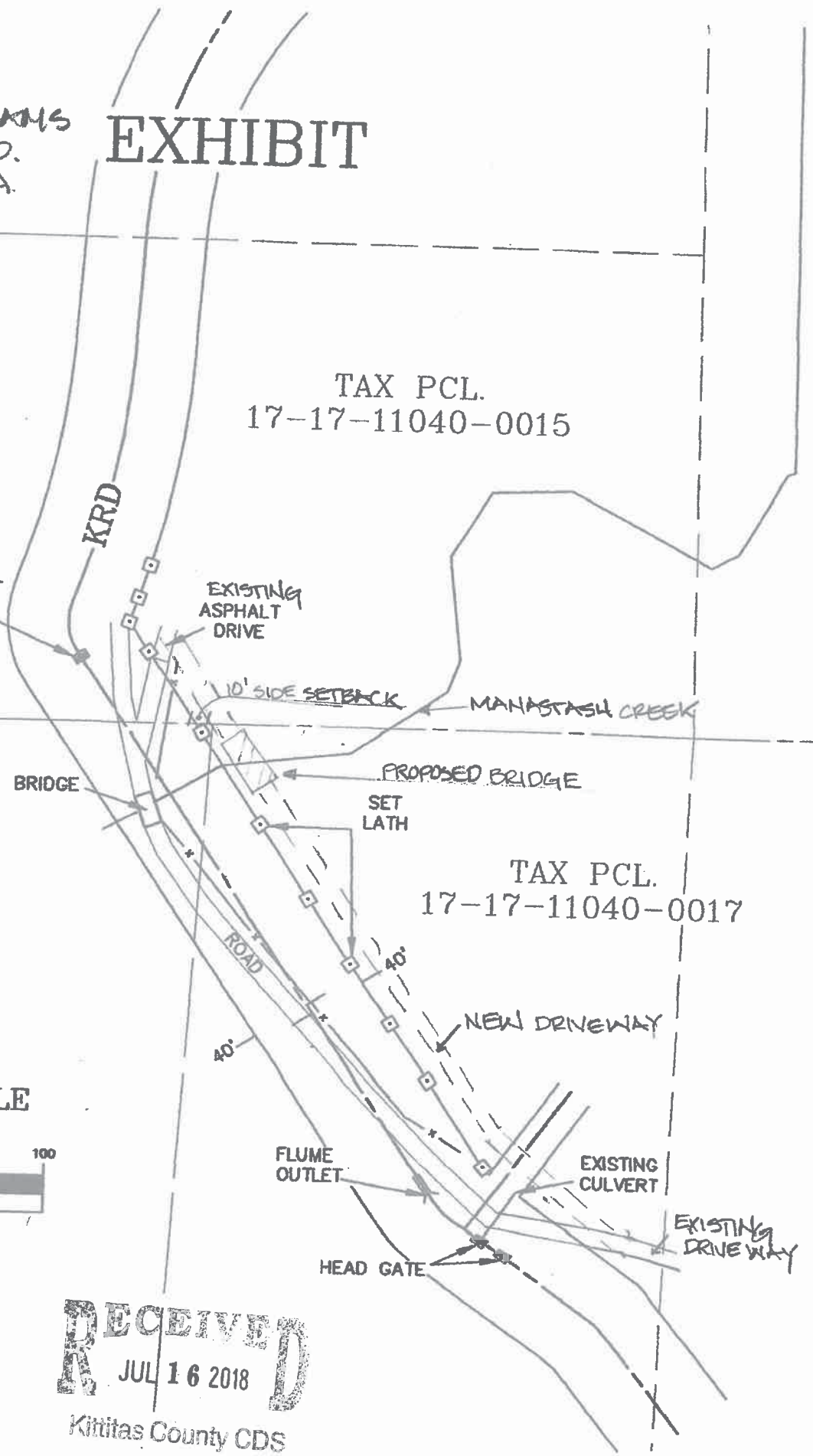


GRAPHIC SCALE



( IN FEET )  
1 inch = 100 ft.

RECEIVED  
JUL 16 2018  
Kittitas County CDS



# Manastash Creek Bridge at Williams Property

Mitch and Julie Williams  
 7501 Manastash Road (site address)  
 P.O. Box 1702 (mailing address)  
 Ellensburg, WA 98926  
 509-899-0168 (cell)  
 mitch@mfwilliams.net



## Drawing List:

1. Project Location & Drawing List
2. Basis of Design
3. Site Preparation & Water Control
4. Final Project Site Plan
5. Section at Upstream Edge Bridge
6. Stream Centerline Profile
7. Steel Bridge Requirements
8. Pre-cast Concrete Footings
9. Pre-cast Concrete Backwalls

## Certification and Statement (KCC title 12.08.020):

These construction plans for Manastash Creek Bridge at Williams Property were prepared by Paul Tappel, PE (Washington PE No. 23801) in accordance with the requirements of the Kittitas County Road Standards.

Paul Tappel, Professional Engineer, who has prepared these plans, by execution and/or seal hereof does hereby affirm responsibility to the County, as a beneficiary of said engineer's work, for any errors and omissions contained in these plans, and approval of these plans by the Department of Public Works shall not relieve the engineer who has prepared these plans of any such responsibility.

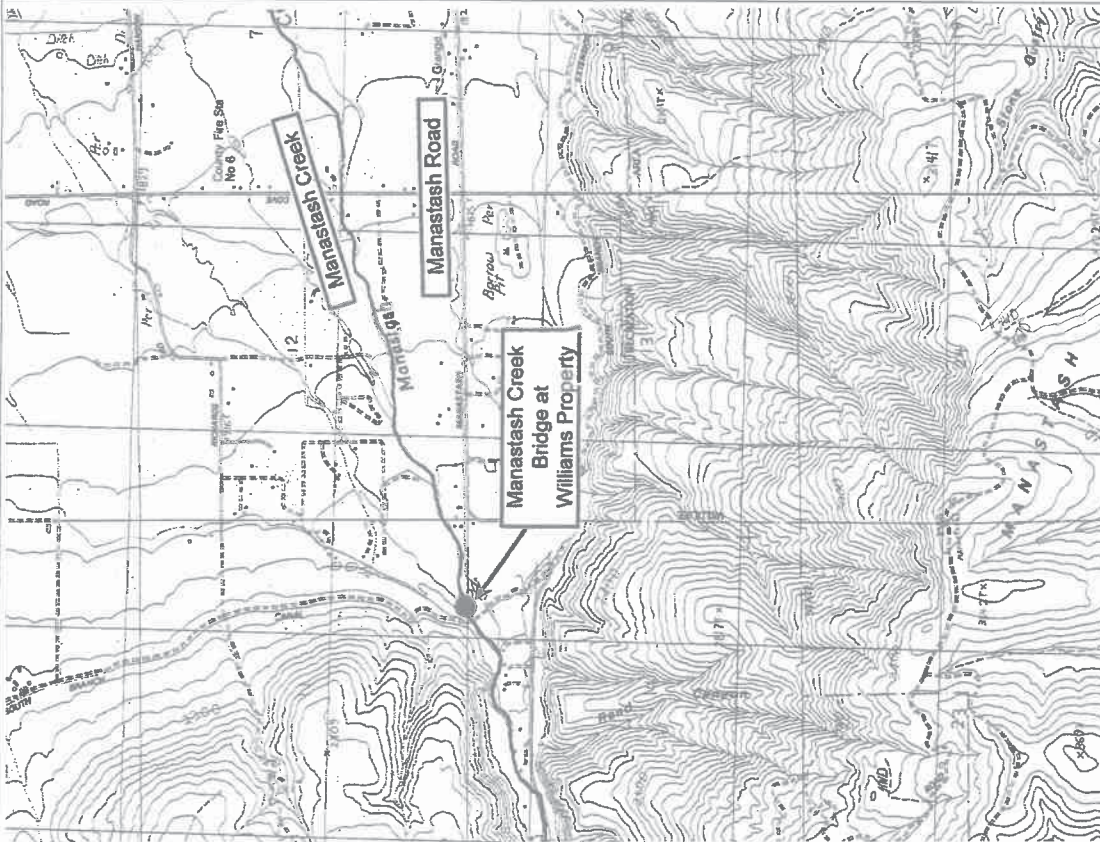
JULY 2018

MITCH AND JULIE WILLIAMS (OWNER) 7501 MANASTASH ROAD ELLENSBURG, WA 98926 509-899-0168	MANASTASH CREEK BRIDGE AT WILLIAMS PROPERTY
PAUL TAPPEL (ENGINEER) 3100 - 243rd STREET SW BRIER, WA 98036 425-482-6420	PROJECT LOCATION & DRAWING LIST DRAWING 1

PROJECT LOCATION  
 IS ABOUT 6 MILES  
 SOUTHWEST OF  
 ELLENSBURG, WA



County Engineer \_\_\_\_\_ Date \_\_\_\_\_



MANASTASH CREEK BRIDGE LOCATION IN NW ¼ SECTION 14, T17N, R17E, KITTITAS COUNTY. ACCESS TO THE SITE VIA DRIVEWAY AT 7501 MANASTASH ROAD. PROPOSED BRIDGE WILL BE ABOUT 70' DOWNSTREAM FROM A WOOD BRIDGE OWNED BY KITTITAS RECLAMATION DISTRICT ALONG SOUTH BRANCH CANAL. MAP SCALE: 1" = 2,000', USGS QUAD MAP 1:24,000 SCALE.



## Manastash Creek Bridge

### Basis of Design

#### **Project Objectives**

Provide a functional and cost-effective bridge crossing of Manastash Creek for vehicle access to one existing residence owned by Mitch and Julie Williams. Meet all requirements for flood flow conveyance, Emergency Vehicle Access (EVA), Kittitas County Code, fish passage and fisheries resources, floodplain development, etc.

#### **Site Survey**

A total station survey instrument (Leica TC800) was used to survey 0.4 acres surrounding the proposed bridge location. A 240'-long reach of Manastash Creek was surveyed to determine creek profile, cross-section dimensions, and other variables.

#### **Geotechnical**

On-site soils were observed to be coarse mixtures of cobble, gravel & sand, which are a mixture of native alluvial materials and imported rock. Allowable bearing pressure for these types of soils are 3,000 pounds per square foot (International Building Code, Table 1804.2). Total bearing capacity under proposed bridge footing slabs will be almost 250,000 pounds, which will substantially exceed any possible combination of dead load (e.g. structures and road surfacing) and live load (e.g. vehicles and snow).

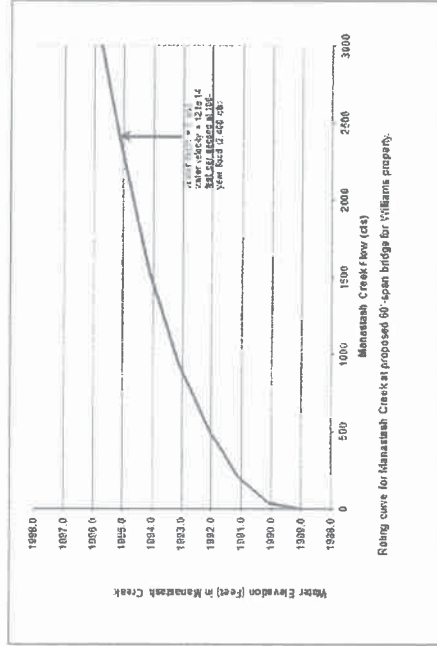
#### **Hydrology and Hydraulic Design**

The 100-year flood flow for Manastash Creek at the project site was estimated to be 2,600 cubic feet per second (cfs) using the USGS' most recent method for calculation of flood flows for ungaged streams and rivers in Washington (Mastin et al. 2017). It was assumed that 200 cfs would overtop from the mainstem creek upstream of the KRD canal. A peak flow rate = 2,400 cfs was used for bridge design.



A flow rating curve was developed to show the relationship between Manastash Creek flow and water surface elevation at the proposed bridge site (see below). Hydraulic conditions during a 100-year flood are estimated to be:

- Water depth 6' at the bridge location, with "standing waves" at least 1' high.
- Water velocity averaging 12 to 14 feet per second with high turbulence and whitewater.
- Substantial transport of large wood and bedload, turbid water conditions.



#### **Bridge Structure**

Superstructure to be a pre-fabricated modular weathering steel bridge 60'-span x 14'-wide deck for single-lane travel. Reinforced pre-cast concrete (WSDOT Class 4000) footings and backwalls to support each end of bridge. All bridge design to support HL-93 live load with deflection < L/300. HL-93 is a nominal (conceptual) 57-ton truck about 56'-long. The bridge structure will easily support fire apparatus as specified in KCC 20.02.050, for which the live load requirement is 75,000 pounds (37½ tons).

#### **Structure Protection from Hydraulic Forces**

Tractive force calculations and hydraulic conditions during the estimated 100-year flood were combined with the engineer's experience with design of stable stream channels, to select armor rocks 36" to 48"-size to wrap around concrete footings. Rock slopes will extend from above footing slabs to about 2' below the creek's lowest channel elevation (thalweg) to minimize the chances for footing scour and/or undermining.

#### **Channel Characteristics, Open Area for Floods, etc.**

Stream simulation design considerations (for culverts) were adapted to the proposed bridge location. Measured Ordinary High Water (analogous to Channel Bed Width or Bankfull Width) was 42', which would suggest a drainage structure with span at least 52'-wide for stream simulation (per WDFW method). The selected 60'-span bridge will allow all construction work to be completed outside the existing low-flow channel, which will remain undisturbed.

The 100-year flood flow was routed under the proposed bridge using Manning's equation, and the bridge was designed for 3' freeboard (minimum) between the bottom of bridge beams and the flood water level. Total open area under the bridge will be 2.8 times an existing KRD bridge immediately upstream. The proposed bridge will have essentially zero effects on the 100-year flood flow, transport of large wood, bedload passage, fish passage, and other aquatic resource considerations.

#### **Site Preparation and Water Control**

Clearing within the wooded riparian area will be limited to an area about 5' outside the perimeter of excavation and fill for bridge and driveway construction. Four cottonwood trees 12" to 18"-trunk diameter will be placed over Manastash Creek downstream of the bridge, for in-stream large wood habitat similar to natural windthrow.

All excavation and fill work will be separated from flowing water. Trashpump(s) will be used to remove turbid water from excavated trenches (for rock slope placement), to prevent turbid water from splashing into Manastash Creek.

JULY 2018

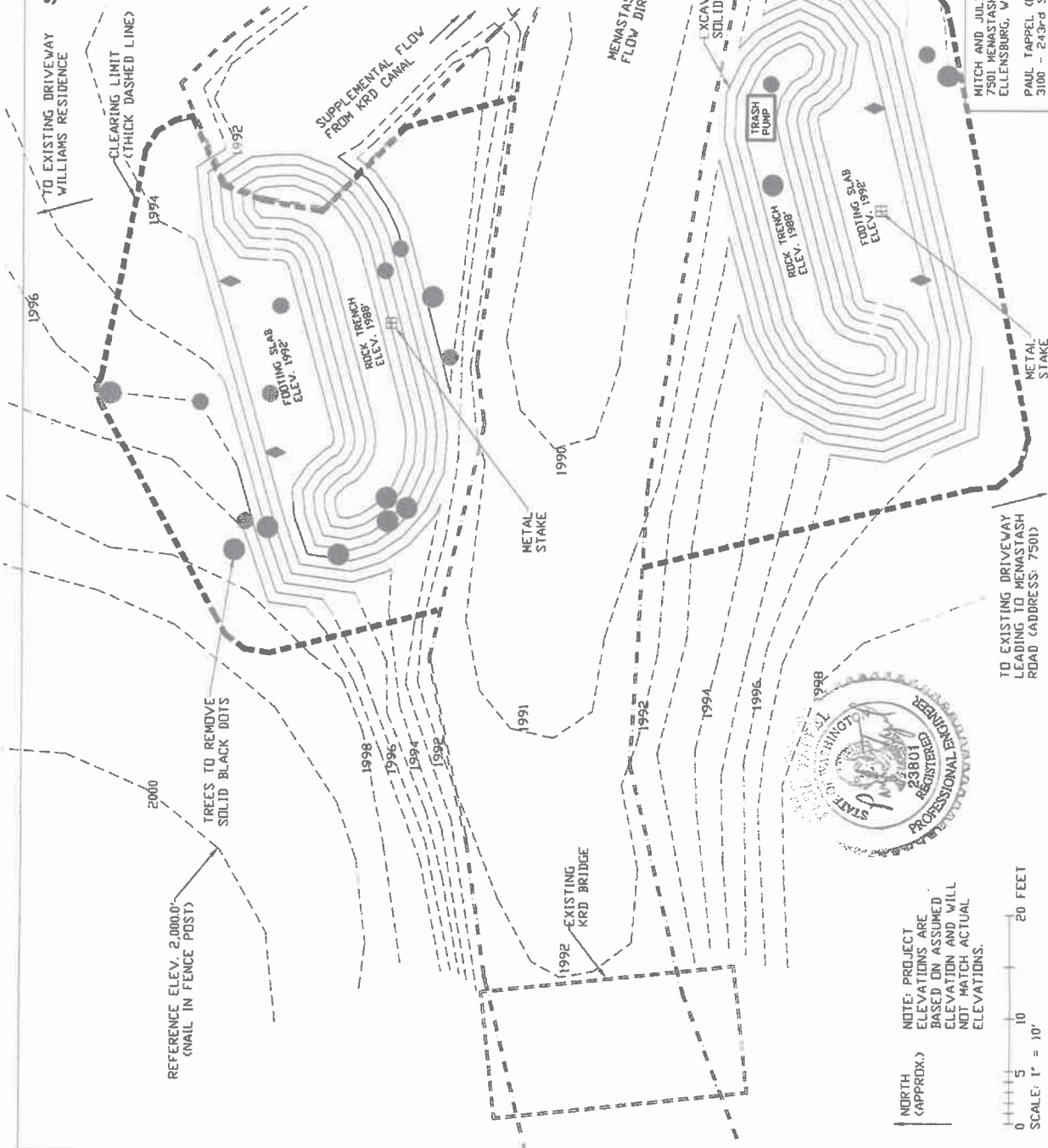
MITCH AND JULIE WILLIAMS (OWNER)  
7501 MANASTASH ROAD  
ELLENSBURG, WA 98926 509-899-0168

PAUL TAPPEL (ENGINEER)  
3100 - 243rd STREET SW  
BRIER, WA 98036 425-482-6420

MANASTASH CREEK BRIDGE AT  
WILLIAMS PROPERTY  
BASIS OF DESIGN  
DRAWING 2

**Site Preparation & Water Control Notes:**

1. Clearing shall be completed prior to other work. All plants within clearing limits to be entirely removed, including 19 cottonwood trees 8" to 24" trunk diameter (pull out stumps). Four cottonwood trees 12" to 18" trunk diameters to be removed in largest pieces practical, then carried downstream of new bridge location (within 80') to be cast across creek to resemble windthrow. All other clearing debris to be disposed on-site within 400' of bridge location, at an upland spot selected by landowner. Pile debris and smash down.
2. Engineer will set stakes at four outside footing corners for new bridge, shown as black diamonds this drawing, plus offset stakes to retain these locations during excavation.
3. There are no buried utilities at the project site.
4. Manastash Creek to remain within existing channel during entire bridge construction project (i.e. no creek bypass, no fish salvage needed). Approximate excavation contours shown this drawing would maintain separation of earthwork from flowing water. However, if minor site differences result in extension of excavation into shallow water areas, Contractor to place sandbag dam along creek bank to isolate excavation from flowing water.
5. Excavation to proceed from both sides of creek for placement of large rocks and footings. Separately stockpile cobble, gravel & sand materials from surface excavations, for streambed and bank backfill over rock slopes and underneath bridge (engineer will advise).
6. Engineer to lay out trenches for large rock placements, and will survey bottom elevations. Contractor to place several rows of large rocks (place largest rocks in bottom rows) to get above water level, then finish excavations for footing subgrades. Place pre-cast concrete footings, then backfill behind footings for equipment pads to finish placement of large rock slopes (see other drawings). Contractor to supply and operate gas-powered trashpump(s) to remove muddy water from rock trenches, with discharge to flat ground (within 100') for infiltration into ground. Large rocks may be placed in shallow standing water, with trashpump(s) operated to prevent muddy water from splashing into creek.
- 7.

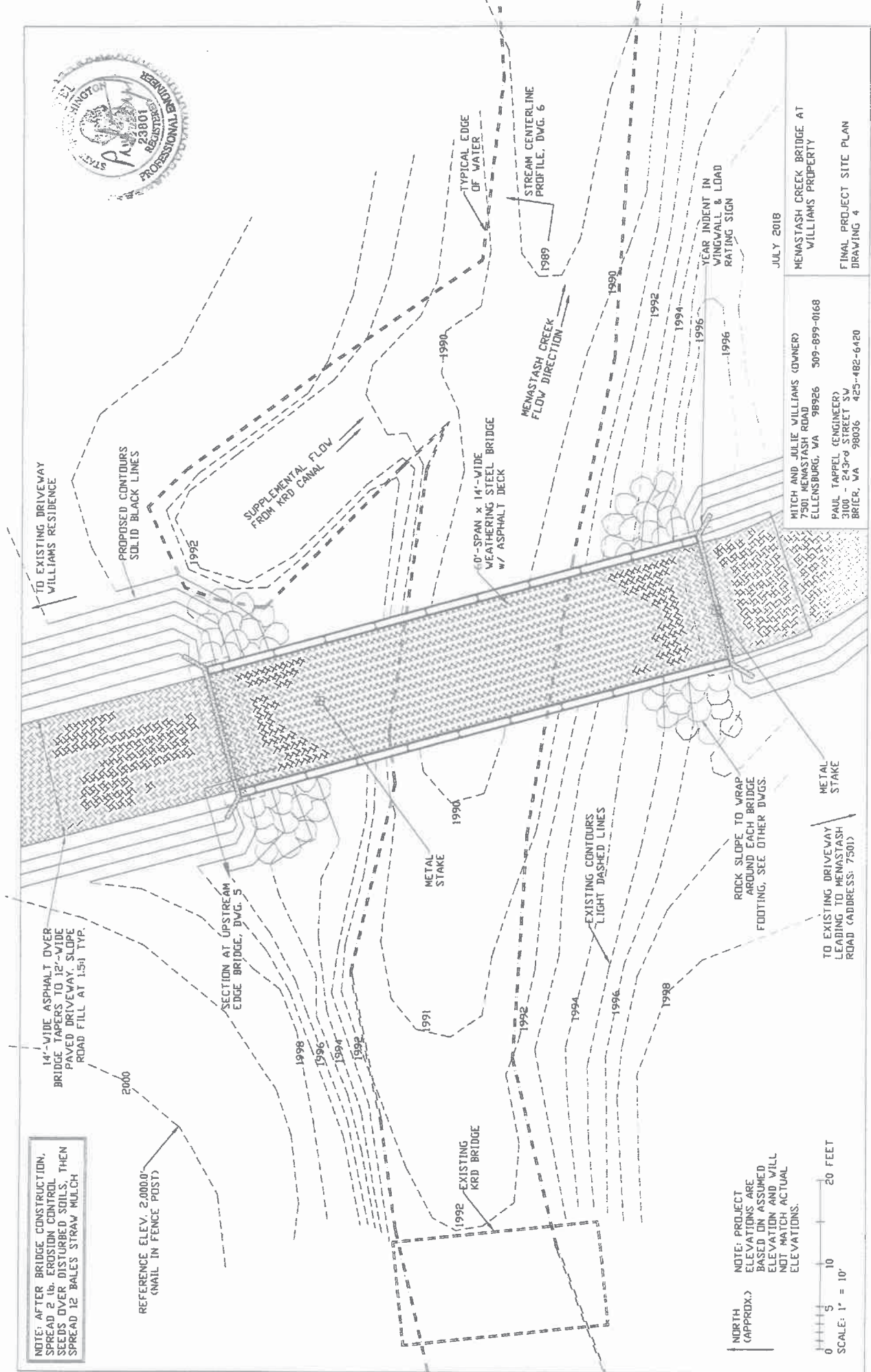


NOTE: PROJECT ELEVATIONS ARE BASED ON ASSUMED ELEVATION AND WILL NOT MATCH ACTUAL ELEVATIONS.

NORTH (APPROX.)  
 0 5 10 20 FEET  
 SCALE: 1" = 10'



JULY 2018  
 MENASTASH CREEK BRIDGE AT  
 WILLIAMS PROPERTY  
 MITCH AND JULIE WILLIAMS (OWNER)  
 7501 MENASTASH ROAD  
 ELLENSBURG, VA 98926 509-899-0168  
 PAUL TAPPEL (ENGINEER)  
 3100 - 243RD STREET SW  
 BRICK, VA 98036 425-482-6420  
 SITE PREPARATION & WATER CONTROL  
 DRAWING 3



14'-WIDE ASPHALT OVER BRIDGE TAPERS TO 12'-WIDE PAVED DRIVEWAY. SLOPE ROAD FILL AT 1.5:1 TYP.

REFERENCE ELEV. 2,000.0' (NAIL IN FENCE POST)

NOTE: AFTER BRIDGE CONSTRUCTION, SPREAD 2 LB. EROSION CONTROL SEEDS OVER DISTURBED SOILS. THEN SPREAD 12 BALES STRAW MULCH

NOTE: PROJECT ELEVATIONS ARE BASED ON ASSUMED ELEVATION AND WILL NOT MATCH ACTUAL ELEVATIONS.



NORTH (APPRX.)

JULY 2018

MEMASTASH CREEK BRIDGE AT WILLIAMS PROPERTY  
FINAL PROJECT SITE PLAN  
DRAWING 4

MITCH AND JULIE WILLIAMS (OWNER)  
7501 MEMASTASH ROAD  
ELLENSBURG, VA 98926 509-899-0168  
PAUL TAPPEL (ENGINEER)  
300 - 2439D STREET SW  
BRIEF, VA 98036 425-482-6420

**Streambank Notes:**

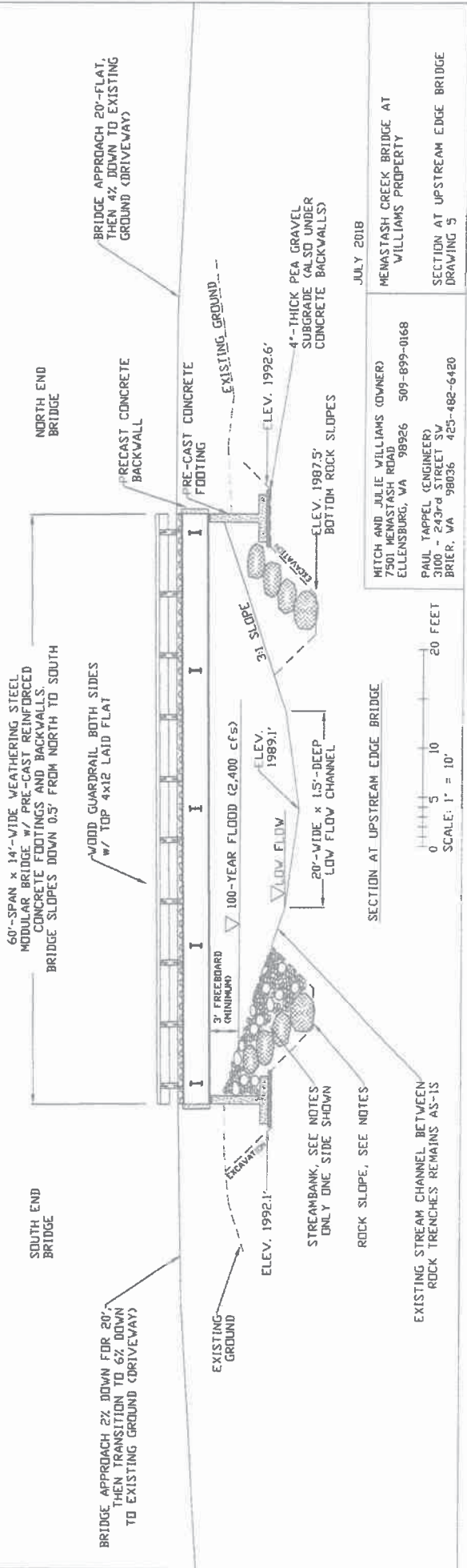
1. For excavation of rock trenches and footing subgrades, remove surface layers cobble, gravel & sand to stockpile separately (engineer to advise). These relatively coarse (vs. silty) native materials will be used to fill over rock slopes, and to re-build Manastash Creek banks after footing placement.
2. Native cobble, gravel & sand materials to be spread over rock slopes, and around bridge footings as shown this drawing. Final streambank contours will be approximately the same as original bank contours in near vicinity to and under the new bridge.
3. Native cobble, gravel, & sand materials to be placed under and around bridge spread not be sorted. The natural assemblage of coarse particle sizes shall be spread over large rocks and along the bank, then roughly raked with excavator teeth for final streambanks.

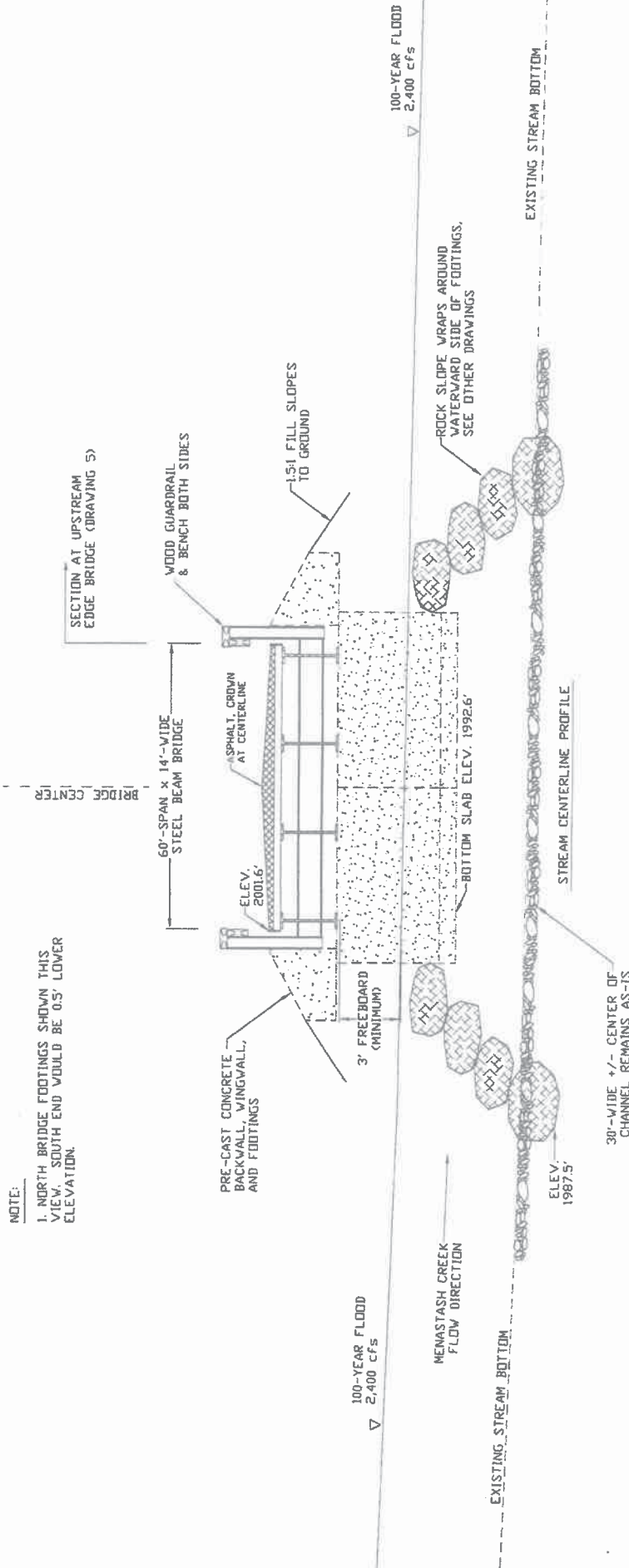
**Rock Slope Notes:**

1. Engineer will assist with layout for rock slope trenches and rock placement.
2. Rocks to be 36" to 48"-size, with largest rocks placed in bottom rows.
3. Place rocks one at a time for single row, then backfill with native soils to top of rocks, tamp backfill, then place next row rocks. Top of rocks shall be at slope 1.5:1 approximately.
4. Bottom rows rocks may be placed in shallow standing water in trench. Pump water as required to prevent overflow into creek channel.
5. Top of rock slopes shall be at least 12" above top of pre-cast concrete footing slabs.

**Bridge Elevation & Open Area Notes:**

1. New bridge deck will be 1.5' to 2.0' higher than the existing KR D wood bridge's deck about 70' upstream. The higher deck elevation will provide 3' freeboard (minimum) over the estimated 100-year flood (2,400 cfs).
2. Open area under the new bridge for flood flow conveyance, wood and bedload transport, fish passage, and all fluvial processes will be 342 ft<sup>2</sup>. Open area under the existing KR D wood bridge = 123 ft<sup>2</sup>. The proposed bridge will have open area 2.8 times as large as the existing KR D bridge (which withstood the May 2011 flood), resulting in no obstruction to the 100-year flood, large wood transport, bedload passage, etc. for Manastash Creek.





NOTE:  
 1. NORTH BRIDGE FOOTINGS SHOWN THIS VIEW. SOUTH END WOULD BE 0.5' LOWER ELEVATION.

JULY 2018  
 MENASTASH CREEK BRIDGE AT WILLIAMS PROPERTY  
 STREAM CENTERLINE PROFILE DRAWING 6

MITCH AND JULIE WILLIAMS (OWNER)  
 7501 MENASTASH ROAD  
 ELLENSBURG, WA 98026 509-899-0168

PAUL TAPPEL (ENGINEER)  
 3100 243rd STREET SW  
 BRIER, WA 98036 425-482-6420



100-YEAR FLOOD  
 ▽ 2,400 cfs

100-YEAR FLOOD  
 ▽ 2,400 cfs

MEMASTASH CREEK  
 FLOW DIRECTION

EXISTING STREAM BOTTOM

EXISTING STREAM BOTTOM

30'-WIDE +/- CENTER OF CHANNEL REMAINS AS-IS

STREAM CENTERLINE PROFILE

BOTTOM SLAB ELEV. 1992.6'

ELEV. 1987.5'

ROCK SLOPE WRAPS AROUND WATERWARD SIDE OF FOOTINGS. SEE OTHER DRAWINGS.

1.5:1 FILL SLOPES TO GROUND

WOOD GUARDRAIL & BENCH BOTH SIDES

SECTION AT UPSTREAM EDGE BRIDGE (DRAWING 5)

BRIDGE CENTER

60'-SPAN x 14"-WIDE STEEL BEAM BRIDGE

ELEV. 2001.6'

PRE-CAST CONCRETE BACKWALL, WINGWALL, AND FOOTINGS

3' FREEBOARD (MINIMUM)

ASPHALT CROWN AT CENTERLINE



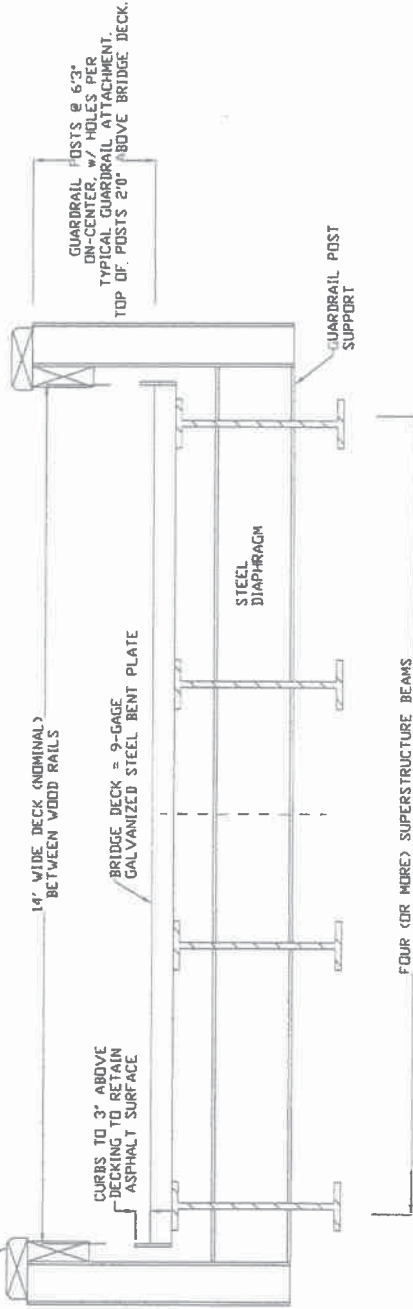
**STEEL BRIDGE REQUIREMENTS:**

1. 60'-SPAN (BEAM END-TO-END) BY 14'-WIDE (DECK WIDTH) MODULAR WEATHERING STEEL BEAM BRIDGE TO BE PRE-FABRICATED AND SHIPPED TO THE PROJECT SITE (6 MILES SOUTHWEST OF ELLENSBURG, WASHINGTON, ACCESSIBLE BY ROAD).
2. ALL ON-SITE WORK INCLUDING LIFTING THE BRIDGE OFF TRANSPORT TRUCK(S), PLACING BRIDGE ON BEARING PLATES, WELDING BEAMS TO PLATES, BOLT INSTALLATION ALONG BRIDGE CENTERLINE, AT BEARING PLATES, AND RAIL ASSEMBLY WILL BE ACCOMPLISHED BY ON-SITE CONTRACTOR.
3. WOOD RAIL MATERIALS (4x12's) AND RAIL HARDWARE TO BE SUPPLIED BY ON-SITE CONTRACTOR, AND ALL RAIL ASSEMBLY BY CONTRACTOR. METAL GUARDRAILS NOT NEEDED FROM BRIDGE SUPPLIER.
4. CONTRACT SPECIFICATION 6-03 INCLUDES DETAILED REQUIREMENTS FOR BRIDGE DESIGN AND SUPPLY. THIS DRAWING SUPPLEMENTS THIS SPECIFICATION.
5. BRIDGE SUPPLIER TO PROVIDE BRIDGE SUPERSTRUCTURE PRE-FABRICATED IN HALVES WITH DECK MATERIAL ATTACHED, BEARING PLATES, ELASTOMERIC (OR SIMILAR) BEARING PADS, RAIL POSTS, AND ALL ASSEMBLY HARDWARE (NUTS AND BOLTS).

**LOADS AND DEFLECTION:**

1. LIVE LOAD = HL-93 (114,000 POUNDS = 57 TONS OVER 55.5'-LONG VEHICLE AXLES).
2. INCLUDE ASPHALT DECK 3"-THICK AT CURBS (TO TOP OF CURBS) AND CROWNED 3" TO BRIDGE CENTERLINE FOR DEAD LOAD.
3. LIVE LOAD DEFLECTION < L/300.

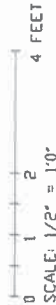
WOOD RAILS & BENCHES, SEE DETAILS IN SPECIFICATION. TOP BENCH TO OVERHANG INSIDE EDGE RAIL BY 1/2".



FOUR (OR MORE) SUPERSTRUCTURE BEAMS FOR NON-FRACTURE CRITICAL DESIGN

**STEEL BRIDGE SCHEMATIC CROSS-SECTION**

THIS CROSS-SECTION SHOWS FOUR W23x BEAMS @ 4'-3" ON-CENTER; THESE BRIDGE ELEMENTS MAY VARY WITH FINAL DESIGN.



JULY 2018

MINASTASH CREEK BRIDGE AT WILLIAMS' PROPERTY

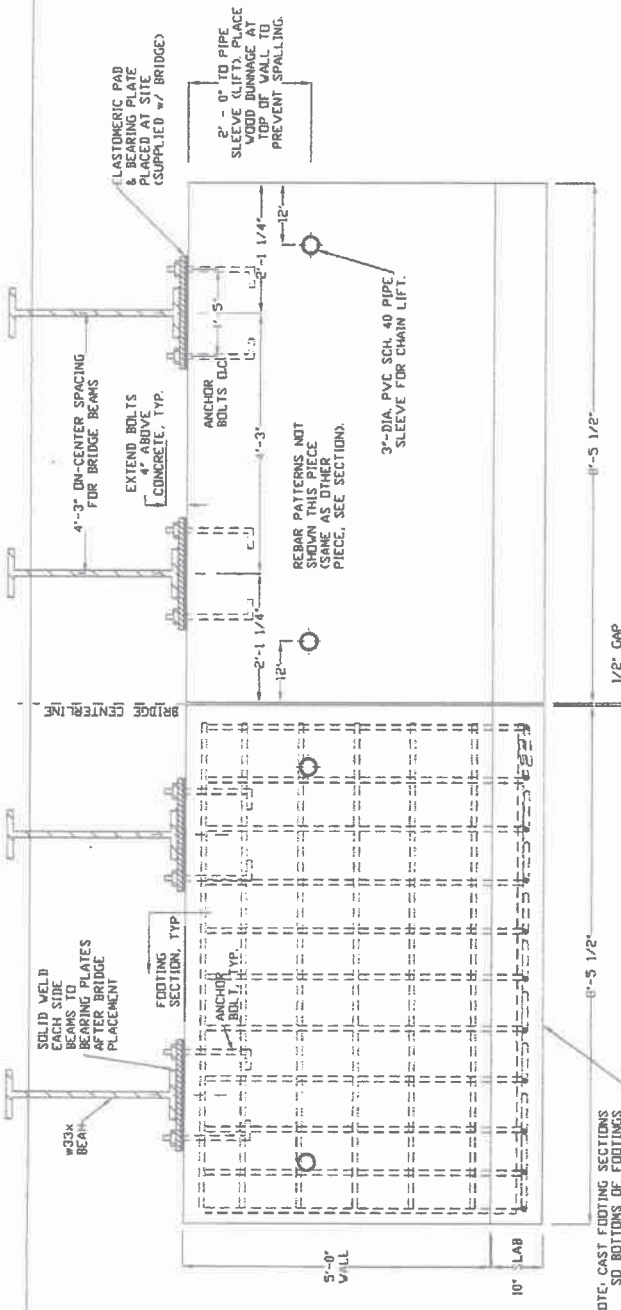
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PAUL TAPPEL (ENGINEER)  
3100 - 243rd STREET SW  
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STEEL BRIDGE REQUIREMENTS DRAWING 7



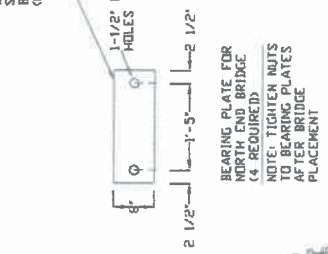
NOTE: THIS DRAWING BASED ON ASSUMED BRIDGE BEAM SPACING AND BEARING PLATE SIZE. THE ENGINEER WILL REVIEW BRIDGE DESIGN SHOP DRAWINGS, AND WILL MAKE CHANGES TO PRE-CAST CONCRETE DRAWINGS (INCLUDING BACKWALLS), DEPENDING ON FINAL BRIDGE SUPERSTRUCTURE DESIGN.



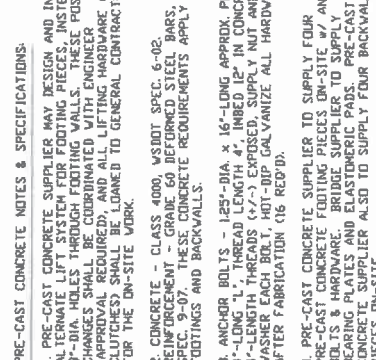
NOTE: CAST FOOTING SECTIONS SD BOTTOMS OF FOOTINGS ARE FLAT (i.e. DO NOT CAST ON SAND SURFACE).

FOOTING FRONT VIEW

NOTE: FOUR PRE-CAST CONCRETE FOOTING PIECES REQUIRED (TWO SHOWN THIS VIEW).



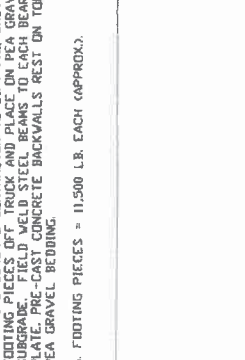
FOOTING SECTION, TYP.



FOOTING SECTION, TYP.



FOOTING SECTION, TYP.



FOOTING SECTION, TYP.



- PRE-CAST CONCRETE NOTES & SPECIFICATIONS.
- PRE-CAST CONCRETE SUPPLIER MAY DESIGN AND INSTALL ALTERNATE LIFT SYSTEM FOR FOOTING PIECES INSTEAD OF 3\"/>
  - CONCRETE - CLASS 4000, WSDOT SPEC. 6-02. REINFORCEMENT - GRADE 60 REFORMED STEEL BARS, WSDOT SPEC. 9-07. THESE CONCRETE REQUIREMENTS APPLY TO FOOTINGS AND BACKWALLS.
  - ANCHOR BOLTS - 1/2\"/>
  - ANCHOR BOLTS - 1/2\"/>
  - PRE-CAST CONCRETE SUPPLIER TO SUPPLY FOUR PRE-CAST CONCRETE FOOTING PIECES ON-SITE w/ ANCHOR BEARING PLATES AND ELASTOMERIC PADS. PRE-CAST CONCRETE SUPPLIER ALSO TO SUPPLY FOUR BACKWALL PIECES ON-SITE.
  - ON-SITE GENERAL CONTRACTOR TO LIFT PRE-CAST SUBGRADE. PIECES OF ROCK AND PLACE ON PEA GRAVEL BEDDING. PRE-CAST CONCRETE BEAMS TO REST ON TOP OF PEA GRAVEL BEDDING.
  - FOOTING PIECES = 11,500 L.B. EACH (APPROX.).



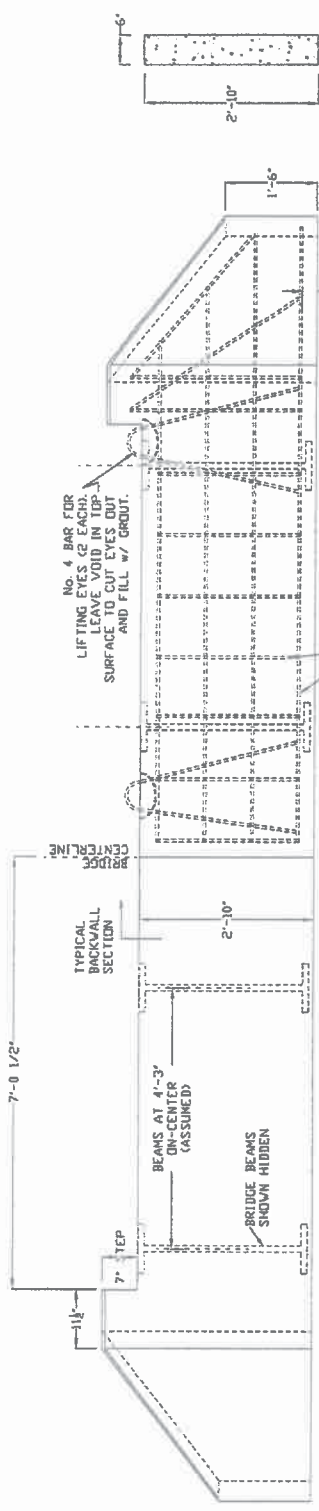
JULY 2018

MANASTASH CREEK BRIDGE AT WILLIAMS PROPERTY

PRE-CAST CONCRETE FOOTINGS DRAWING 8

MITCH AND JULIE WILLIAMS (OWNER)  
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ELLENSBURG, VA 98926 509-899-0168

PAUL TAPPEL (ENGINEER)  
3100 - 243rd STREET SW  
BRIER, VA 98036 425-482-6420



TYPICAL BACKWALL SECTION

No. 4 REBAR @ 9" D.C. HORIZONTAL AND No. 4 BARS @ 12" D.C. VERTICAL, PLUS TWO No. 4 BARS ANGLED W/ WING. REBAR PATTERN SAME ALL BACKWALLS.

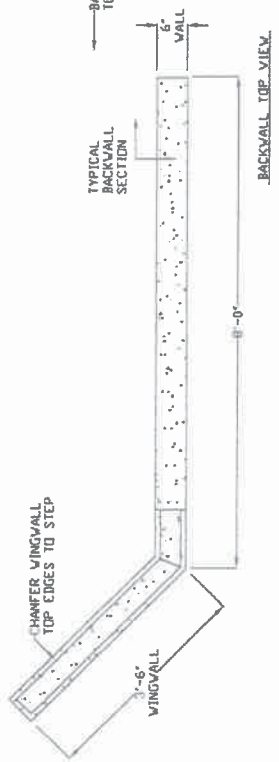
BACKWALL ELEVATION VIEW (LOOKING LANDWARD)



BACKWALL ELEVATION VIEW (LOOKING LANDWARD)

TYPICAL BACKWALL SECTION

BACKWALL TOP VIEW



PRE-CAST CONCRETE BACKWALL NOTES:

1. TWO PAIRS REQ'D AS SHOWN.
2. CHAMFER TOP AND END EDGES 1" ON OUTSIDE LENGTHS EACH BACKWALL & WINGWALL SECTION (TO STEP).
3. CUT OFF REBAR LIFT LOOPS AT LEAST 1/2" BELOW TOP OF BACKWALL AND FILL HOLES W/ GROUT AFTER PLACEMENT.
4. INDENTURE DATE (YEAR) ON DOWNSTREAM FACE ONE WINGWALL, 3"-HIGH x 1-1/2" WIDE x 3/8"-DEEP NUMBERS (SEE SCHEMATIC).



NOTE: LOAD RATING SIGN WOULD FACE OPPOSITE DIRECTION FROM DATE (TOWARDS VEHICLE INGRESS)

12" x 18" ALUMINUM RATING SIGN  
ML-93

PRESSURE-TREATED 4x4 WOOD POST

ATTACH POST TO BACKWALL WITH THREE GALV. STEEL BOLTS, 1/2" FROM BOTTOM EDGE AND 1/2" THRU CONCRETE BACKWALLS.

2018

SCHMATIC WINGWALL ELEVATION FOR SOUTHEAST BRIDGE CORNER. SIGN TO BE ATTACHED TO WINGWALL ON DOWNSTREAM SURFACE. LOAD RATING SIGN INGRESS RIGHT SHOULDER.



JULY 2018

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MANASTASH CREEK BRIDGE AT  
WILLIAMS PROPERTY  
PRE-CAST CONCRETE BACKWALLS  
DRAWING 9





# KITTITAS COUNTY FIRE MARSHAL'S OFFICE

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

Office (509) 962-7000 Fax (509) 962-7682

## WILDLAND URBAN INTERFACE (WUI) PLAN REVIEW SPRINKLERS REQUIRED – MITIGATION ALLOWED

PERMIT #:		PLANS EXAMINER:	
OWNER:		CONTRACTOR:	
SITE ADDRESS:		TAX PARCEL NO:	
STRUCTURE TYPE:		ROOF CLASS:	Choose an item.
CONSTRUCTION CLASS:	IR1	FIRE SPRINKLERS:	YES
<b>DEFENSIBLE SPACE</b>		SQ FOOTAGE:	
<b>DISTANCE REQ'D:</b>	<b>100' Or To Property Line</b>		

The following codes shall govern all aspects of construction: 2015 International Building Code, 2015 International Residential Code, 2015 International Fire Code, 2015 International Mechanical Code, 2015 International Fuel Gas Code, 2015 Uniform Plumbing Code, 2015 Washington State Energy Code, 2015 National Fuel Gas Code NFPA 54, 2014 Liquefied Petroleum Gas Code NFPA 58, 2015 International Wildland Urban Interface Code. **THE ISSUANCE OR GRANTING OF A PERMIT SHALL NOT BE CONSTRUED TO BE A PERMIT FOR, OR AN APPROVAL OF, ANY VIOLATION OF THE PROVISIONS OF ANY APPLICABLE CODE OR ORDINANCE OF THE JURISDICTION, NOR SHALL IT BE IMPLIED ACCEPTANCE OF ANY CHANGES THAT OCCUR ON SITE.**

**504.1 CLASS I IGNITION-RESISTANT CONSTRUCTION shall be in accordance with Sections 504.2 through 504.11**

**602.1 General.**

**APPROVED AUTOMATIC SPRINKLER SYSTEM** shall be installed in all occupancies in new buildings required to comply with Class I Ignition-Resistant Construction. The installation of the automatic sprinkler system shall be in accordance with nationally recognized standards.

1. Submit a fire sprinkler system plan and permit application to the Fire Marshal's Office.
2. A framing inspection will not be performed until the sprinkler system is inspected and approved by the Fire Marshal.

**Exception:** Extending to 1.5 times the required defensible space with a *conforming water system* or 2.5 times the required defensible space per Table 503.1 KCC 20.10 Wildland Urban Interface Code will mitigate the sprinkler requirement.

<p><b>NOTE F1:</b></p>	<p><b>504.2 Roof Covering</b>  Roofs shall have a roof assembly that complies with a Class A rating when tested in accordance with ASTM E 108 or UL 790. For roof coverings where the profile allows a space between the roof covering and roof decking, the space at the eave ends shall be fire-stopped to preclude entry of flames or embers, or have one layer of 72-pound (32.4 kg) mineral-surfaced, non-perforated cap sheet complying with ASTM D 3909 installed over the combustible decking.</p> <p><b>Exceptions:</b></p> <ol style="list-style-type: none"> <li>1. Class A roof assemblies include those with coverings of brick, masonry or an exposed concrete roof deck.</li> <li>2. Class A roof assemblies also include ferrous or copper shingles or sheets, metal sheets and shingles, clay or concrete roof tile or slate installed on non-combustible decks or ferrous, copper or metal sheets installed without a roof deck on non-combustible framing.</li> <li>3. Class A roof assemblies include minimum 16 oz/sq. ft. (0.0416 kg/m<sup>2</sup>) copper sheets installed over combustible decks.</li> </ol> <p><b>504.2.1 Roof Valleys</b>  Where provided, valley flashings shall be not less than 0.019 inch (0.48 mm) (No. 26 galvanized sheet gage) corrosion-resistant metal installed over a minimum 36-inch-wide (914 mm) underlayment consisting of one layer of 72-pound (32.4 kg) mineral-surfaced, non-perforated cap sheet complying with ASTM D 3909 running the full length of the valley.</p>
<p><b>NOTE F2:</b></p>	<p><b>504.3 Protection of Eaves</b>  Eaves and soffits shall be protected on the exposed underside by ignition-resistant materials or by materials <i>approved</i> for not less than 1-hour fire-resistance-rated construction, 2-inch (51 mm) nominal dimension lumber, or 1-inch (25 mm) nominal fire-retardant-treated lumber or 3/4 inch (19.1 mm) nominal fire-retardant-treated plywood, identified for exterior use and meeting the requirements of Section 2303.2 of the <i>International Building Code</i>. Fascias are required and shall be protected on the back-side by ignition-resistant materials or by materials <i>approved</i> for not less than 1-hour fire-resistance-rated construction or 2-inch (51 mm) nominal dimension lumber.</p>
<p><b>NOTE F3:</b></p>	<p><b>504.4 Gutters and Downspouts</b>  Gutters and downspouts shall be constructed of non-combustible material. Gutters shall be provided with an approved means to prevent the accumulation of leaves and debris in the gutter.</p>
<p><b>NOTE F4:</b></p>	<p><b>504.5 Exterior Walls</b>  Exterior walls of buildings or structures shall be constructed with one of the following methods:</p> <ol style="list-style-type: none"> <li>1. Materials approved for a minimum of 1-hour fire-resistance-rated construction on the exterior side.</li> <li>2. Approved noncombustible materials.</li> <li>3. Heavy timber or log wall construction.</li> <li>4. Fire-retardant treated wood on the exterior side. The fire-retardant treated</li> </ol>

	<p>wood shall be labeled for exterior use and meet the requirements of Section 2303.2 of the <i>International Building Code</i>.</p> <p>5. Ignition-resistant materials on the exterior side.</p> <p><i>Such material shall extend from the top of the foundation to the underside of the roof sheathing.</i></p>
NOTE F5:	<p><b>504.6 Underfloor Enclosure</b> Buildings or structures shall have all under-floor areas enclosed to the ground, with exterior walls in accordance with Section 505.5.</p> <p><b>Exception:</b> Complete enclosure may be omitted where the underside of all exposed floors and all exposed structural columns, beams and supporting walls are protected as required for exterior 1-hour fire-resistance-rated construction or heavy timber construction.</p>
NOTE F6:	<p><b>504.7 Appendages and Projections</b> Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be a minimum of 1-hour fire-resistance-rated construction, heavy timber construction or constructed of one of the following:</p> <ol style="list-style-type: none"> <li>1. Approved noncombustible materials.</li> <li>2. Fire retardant-treated wood identified for exterior use and meeting the requirements of Section 2303.2 of the <i>International Building Code</i>, or</li> <li>3. Ignition-resistant building materials in accordance with 503.2.</li> </ol> <p><b>504.7.1 Underfloor Areas</b> Where the attached structure is located and constructed so that the structure or any portion thereof projects over a descending slope surface greater than 10 percent, the area below the structure shall have underfloor areas enclosed to within 6 inches (152 mm) of the ground, with exterior wall construction in accordance with Section 504.5.</p>
NOTE F7:	<p><b>504.8 Exterior Glazing</b> Exterior windows, window walls and glazed doors, windows within exterior doors, and sky-lights shall be tempered glass, multilayered glazed panels, glass block or have a fire protection rating of not less than 20 minutes.</p>
NOTE F8:	<p><b>504.9 Exterior Doors</b> Exterior doors shall be approved non-combustible construction, solid core wood not less than 1-3/4" thick or have a fire protection rating of not less than 20 minutes. Windows within doors and glazed doors shall be in accordance with Section 504.8.</p> <p><b>Exception:</b> Vehicle access doors.</p>
NOTE F9:	<p><b>504.10 Vents</b> Attic ventilation openings, foundation or under-floor vents or other ventilation openings in vertical exterior walls and vents through roofs shall not exceed 144 square inches each. Such vents shall be covered with noncombustible corrosion-resistant mesh with openings not to exceed 1/4" (suggested 1/8" max.) or shall be designed and approved to prevent flame or ember penetration into the structure.</p>

	<p><b>504.10.1 Vent Locations</b> Attic ventilation openings shall not be located in soffits, in eave overhangs, between rafters at eaves, or in other overhang areas. Gable end and dormer vents shall be located not less than 10 feet (3048 mm) from lot lines. Underfloor ventilation openings shall be located as close to grade as practical. <b>EXCEPTION:</b> Cal-Fire approved soffit vents only and as first approved by the Fire Marshal.</p>
NOTE F10:	<p><b>504.11 Detached Accessory Structures</b> Detached accessory structures located less than 50 feet (15 240 mm) from a building containing habitable space shall have exterior walls constructed with materials <i>approved</i> for not less than 1-hour fire- resistance-rated construction, heavy timber, log wall construction, or constructed with <i>approved noncombustible</i> materials or fire-retardant-treated wood on the exterior side. The fire-retardant-treated wood shall be labeled for exterior use and meet the requirements of Section 2303.2 of the <i>International Building Code</i>.</p> <p><b>504.11.1 Underfloor Areas</b> Where the detached structure is located and constructed so that the structure or any portion thereof projects over a descending slope surface greater than 10 percent, the area below the structure shall have underfloor areas enclosed to within 6 inches (152 mm) of the ground, with exterior wall construction in accordance with Section 504.5 or underfloor protection in accordance with Section 504.6. <b>Exception:</b> The enclosure shall not be required where the underside of exposed floors and exposed structural columns, beams and supporting walls are protected as required for exterior 1-hour fire-resistance-rated construction or heavy-timber construction or fire retardant- treated wood on the exterior side. The fire-retardant-treated wood shall be labeled for exterior use and meet the requirements of Section 2303.2 of the <i>International Building Code</i>.</p>

NOTE F11:	<p><b>DEFENSIBLE SPACE</b></p> <p><b>603.1 Objective</b> Provisions of this section are intended to modify the fuel load in areas adjacent to structures to create a <i>defensible space</i>.</p> <p><b>603.2 Fuel Modification</b> Buildings or structures, constructed in compliance with the conforming <i>defensible space</i> category of Table 503.1 (The defensible space requirement is determined in the heading on the first page of this document), shall comply with the <i>fuel modification</i> distances contained in Table 603.2. For all other purposes the <i>fuel modification</i> distance shall not be less than 30 feet (9144 mm) or to the lot line, whichever is less. Distances specified in</p>
-----------	---

Table 603.2 shall be measured on a horizontal plane from the perimeter or projection of the building or structure. Distances specified in Table 603.2 are allowed to be increased by the code official because of a site-specific analysis based on local conditions and the fire protection plan.

Please also see Kittitas County Code: KCC 20.10 Wildland Urban Interface Code

**603.2.2 Trees**

Trees are allowed within the *defensible space*, provided the horizontal distance between crowns of adjacent trees and crowns of trees and structures, overhead electrical facilities or unmodified fuel is not less than 10 feet (3048 mm). (See 603.2 above for where to measure from).

**603.2.3 Groundcover**

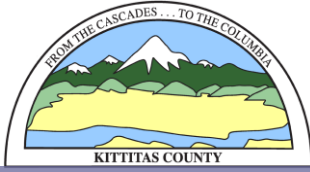
Deadwood and litter shall be regularly removed from trees. Where ornamental vegetative fuels or cultivated ground cover, such as green grass, ivy, succulents or similar plants are used as ground cover, they are allowed to be within the designated *defensible space*, provided they do not form a means of transmitting fire from the native growth to any structure.

**THIS IS NOT THE ENTIRE WUIC CODE AND ALL OTHER CODE REQUIREMENTS ARE ALSO APPLICABLE.**

**A FINAL WUIC SITE INSPECTION SHALL BE COMPLETED AND APPROVED PRIOR TO SCHEDULING FINAL INSPECTION FOR CERTIFICATE OF OCCUPANCY.**

I, \_\_\_\_\_ have read and fully understand all above plan review notes and will abide by all applicable codes and regulations. All required inspections will be performed and no work will be covered without being inspected and approved. **No changes will be made to the approved permit without prior written approval from the Kittitas County Department of Community Development Services or the Fire Marshal.**

Signed: \_\_\_\_\_ Dated: \_\_\_\_\_



## KITTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTITAS.WA.US

Office (509) 962-7506

Fax (509) 962-7682

"Building Partnerships – Building Communities"

**To:** Mitch & Julie Williams

**Date:** August 8, 2018

**From:** Chelsea Benner, Planner I

(509) 962-7046, [Chelsea.benner@co.kittitas.wa.us](mailto:Chelsea.benner@co.kittitas.wa.us)

**Subject:** (PM-18-00016) Mitch & Julie Williams Shoreline Permit, Pre Application Meeting, CDS Planning Memo

---

**Proposal:** The applicant would like to construct a new bridge over Manastash Creek for reliable access to an existing single family residence.

**1) SEPA**

The project as proposed is not SEPA exempt and will require a SEPA checklist be submitted with the application. Depending on analysis of this checklist further SEPA requirements may be necessary.

**2) Zoning and Land Use Designations**

The subject property is currently zoned Agriculture 20. This project has no Zoning or Land Use issues.

**3) Critical Areas**

GIS information indicates that there are multiple critical areas located on the subject property. As the proposed project is in the Rural Conservancy Shoreline designation, and does not qualify for an exemption permit, the completion of a Shoreline Substantial Development Permit is required. Application needs to contain a scaled detailed site plan and JARPA or HPA if required by a state or federal agency.



#### **4) Project Review**

The project will be processed in accordance with KCC 17B Shorelines, which includes a 30 day comment period. The Decision for this project will be issued by staff as this is an administrative determination and can be appealed to the Shorelines Board.

Shoreline Substantial Development permit application and SEPA Checklist were submitted on July 30, 2018.

#### **Disclaimer:**

Kittitas County Community Development Services Department does not guarantee a parcel eligible for development until such time as a complete and accurate application is submitted. Further analysis may be conducted at the time of permit application. Codes are subject to change.

SD-18-00001



# KITTTAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926  
CDS@CO.KITTTAS.WA.US  
Office (509) 962-7506  
Fax (509) 962-7682

"Building Partnerships - Building Communities"

## SHORELINE PERMITTING

(For projects located within 200 feet of a body of water and/or associated floodway and wetlands under the jurisdiction of the Shoreline Master Program)

**A preapplication conference is REQUIRED** per KCC 15A.03.020 for this permit. The more information the County has early in the development process, the easier it is to identify and work through issues and conduct an efficient review. To schedule a preapplication conference, complete and submit a Preapplication Conference Scheduling Form to CDS. Notes or summaries from preapplication conference should be included with this application.

### REQUIRED INFORMATION / ATTACHMENTS

- A scaled site plan is required showing location of all structures, driveways, well, septic, fences, etc. and proposed uses and distances from property lines, river, and Horizontal distance from OHWM. To show the Horizontal distance a profile view from the OHWM to the edge of structure/activity shall also be shown.

*OK* Include JARPA or HPA forms if required for your project by a state or federal agency.  
*through DFW is in progress*

- Please check the box next to the most restrictive type of shoreline permit you are requesting:
- Shoreline Substantial Development Permit (Fee: CDS: \$2,390 + PW: \$550 + SEPA, if not exempt: \$1,130.00 (CDS: \$600, PW: \$250, PH: \$280))
  - Shoreline Conditional Use Permit (Fee: CDS: \$3,910 + PW: \$550 + SEPA, if not exempt: \$1,130.00 (CDS: \$600, PW: \$250, PH: 280))
  - Shoreline Variance (Fee: CDS: \$3,910 + PW: \$550 + SEPA, if not exempt: \$1,130.00 (CDS: \$600, PW: \$250 + PH: \$280))

### APPLICATION FEES:

- (see above) Kittitas County Community Development Services (KCCDS)
- (see above) Kittitas County Department of Public Works
- (see above) Total fees due for this application (One check made payable to KCCDS)

### FOR STAFF USE ONLY

Application Received By (CDS Staff Signature): <i>HB</i>	DATE: <i>7-30-18</i>	RECEIPT # <i>CD18-4856</i> <i>01856</i>	

COMMUNITY PLANNING • BUILDING INSPECTION • PLAN REVIEW • ADMINISTRATION • PERMIT SERVICES • CODE ENFORCEMENT • FIRE INVESTIGATION



General Application Information

1. Name, mailing address and day phone of land owner(s) of record:

*Landowner(s) signature(s) required on application form.*

Name: MITCH & JULIE WILLIAMS  
Mailing Address: P.O. BOX 1702  
City/State/ZIP: ELLENSBURG, WA 98924  
Day Time Phone: 509 899-0168  
Email Address: MITCH@MFWILLIAMS.NET

2. Name, mailing address and day phone of authorized agent, if different from landowner of record:

*If an authorized agent is indicated, then the authorized agent's signature is required for application submittal.*

Agent Name: SAME  
Mailing Address: \_\_\_\_\_  
City/State/ZIP: \_\_\_\_\_  
Day Time Phone: \_\_\_\_\_  
Email Address: \_\_\_\_\_

3. Name, mailing address and day phone of other contact person

*If different than land owner or authorized agent.*

Name: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
City/State/ZIP: \_\_\_\_\_  
Day Time Phone: \_\_\_\_\_  
Email Address: \_\_\_\_\_

4. Street address of property:

Address: 7501 MANASTASH RD.  
City/State/ZIP: ELLENSBURG, WA 98924

5. Legal description of property: (attach additional sheets as necessary)

ATTACHED

6. Tax parcel number(s): 825033 & 10685

7. Property size: 10.57 ac. 5.13 ac. (acres)

8. Provide section, township, and range of project location:

$\frac{1}{4}$  Section NW Section 14 Township T17 N. Range 17 E., W.M.

9. Latitude and longitude coordinates of project location (e.g. 47.03922 N lat. / -122.89142 W long.):  
\_\_\_\_\_ [use decimal degrees – NAD 83]

10. Type of Ownership: (check all that apply)

- Private       Federal       State       Local       Tribal

11. Land Use Information:

Zoning: AG 20      Comp Plan Land Use Designation: RURAL

12. Shoreline Designation: (check all that apply)

- Urban Conservancy       Shoreline Residential       Rural Conservancy  
 Natural       Aquatic

13. Type of Shoreline Permit(s) requested (check all that apply):

a. Shoreline Substantial Development Permit will always be required unless proposal meets an exemption per WAC 173-27-040.

- Shoreline Substantial Development Permit; or  
 Shoreline Exemption Permit (see Shoreline Exemption Permit application)

b. Only check one or both of the boxes below if they are applicable.

- Shoreline Conditional Use Permit  
*\*must answer question 32. a.-h. below.*  
 Shoreline Variance  
*\*must answer questions 33. a.-g. and 34. a.-b. (if applicable) below.*

14. Fair Market Value of the project, including materials, labor, machine rentals, etc. \$ 80,000

15. Anticipated start and end dates of project construction: Start FALL 2018 End 2019

### Project Description

16. Briefly summarize the purpose of the project:

NEW BRIDGE OVER MANASTASH CREEK. THIS IS A PRIVATE BRIDGE FOR A SINGLE FAMILY HOME.

17. What is the primary use of the project (e.g. Residential, Commercial, Public, Recreation)?

RESIDENTIAL

18. What is the specific use of the project (e.g. single family home, subdivision, boat launch, restoration project)?

SINGLE FAMILY HOME

### Vegetation

19. Will the project result in clearing of tree or shrub canopy? (check one)

- Yes       No UNDER 10,000 SQ.FT. WITH DRIVEWAY

If 'Yes', how much clearing will occur? IMMEDIATE BRIDGE SITE (square feet and acres)

20. Will the project result in re-vegetation of tree or shrub canopy? (check one)

Yes  No

If 'Yes', how much re-vegetation will occur? \_\_\_\_\_ (square feet and acres)

Wetlands

21. Will the project result in wetland impacts? (check one)

Yes  No

If 'Yes', how much wetland will be permanently impacted? \_\_\_\_\_ (square feet and acres)

22. Will the project result in wetland restoration? (check one)

Yes  No

If 'Yes', how much wetland will be restored? \_\_\_\_\_ (square feet and acres)

Impervious Surfaces

23. Will the project result in creation of over 500 square feet of impervious surfaces? (check one)

Yes  No

If 'Yes', how much impervious surface will be created? BRIDGE DECK 840<sup>58, FT.</sup> (square feet and acres)

24. Will the project result in removal of impervious surfaces? (check one)

Yes  No

If 'Yes', how much impervious surface will be removed? \_\_\_\_\_ (square feet and acres)

Shoreline Stabilization

25. Will the project result in creation of structural shoreline stabilization structures (revetment/bulkhead/riprap)?

(Check one)  Yes  No

If 'Yes', what is the net linear feet of stabilization structures that will be created? 42 L.F.  
(21 L.F. EACH SIDE)

26. Will the project result in removal of structural shoreline stabilization structures (revetment/bulkhead/riprap)?

(Check one)  Yes  No

If 'Yes', what is the net linear feet of stabilization structures that will be removed? \_\_\_\_\_

Levees/Dikes

27. Will the project result in creation, removal, or relocation (setting back) of levees/dikes?

(check one)  Yes  No

If 'Yes', what is the net linear feet of levees/dikes that will be created? \_\_\_\_\_

If 'Yes', what is the net linear feet of levees/dikes that will be permanently removed? \_\_\_\_\_

If 'Yes', what is the linear feet of levees/dikes that will be reconstructed at a location further from the OHWM? \_\_\_\_\_

**Floodplain Development**

28. Will the project result in development within the floodplain? (check one)

Yes                                       No

If 'Yes', what is the net square feet of structures to be constructed in the floodplain? 840 SQ. FT.  
*\*Note: A floodplain development is required per KCC 14.08; please contact Kittitas County Public Works*

29. Will the project result in removal of existing structures within the floodplain? (check one)

Yes     No

If 'Yes', what is the net square footage of structures to be removed from the floodplain? \_\_\_\_\_

**Overwater Structures**

30. Will the project result in construction of an overwater dock, pier, or float? (check one)

Yes     No

If 'Yes', how many overwater structures will be constructed? \_\_\_\_\_

What is the net square footage of water-shading surfaces that will be created? \_\_\_\_\_

31. Will the project result in removal of an overwater dock, pier, or float? (check one)

Yes     No

If 'Yes', how many overwater structures will be removed? \_\_\_\_\_

What is the net square footage of water-shading surfaces that will be removed? \_\_\_\_\_

**Shoreline Conditional Use Permit**  
**(answer ONLY if requesting this permit)**

*\*Must demonstrate your proposal meets all of the following per Kittitas County Shoreline Master Program (SMP):*

32. Answer the following questions on a separate sheet and attach to this application packet.
- a. That the proposed use is consistent with the policies of RCW 90.58.020 and the Master Program;
  - b. That the proposed use will not interfere with the normal public use of public shorelines;
  - c. That the proposed use of the site and design of the project is compatible with other authorized uses within the area and with uses planned for the area under the comprehensive plan and SMP;
  - d. That the proposed use will cause no significant adverse effects to the shoreline environment in which it is to be located;
  - e. That the public interest suffers no substantial detrimental effect;
  - f. That if conditional use permits were granted for other developments in the area where similar circumstances exist, the cumulative impact of such uses would remain consistent with the policies of RCW 90.58.020 and not produce substantial adverse effects to the shoreline environment.
  - g. That the proposed use has been appropriately conditioned to prevent undesirable effects of the proposed use and to assure consistency of the project with the Act and the local Master Program.
  - h. When converting from one nonconforming use to a different nonconforming use, the applicant must demonstrate that no reasonable alternative conforming use is practical and that the proposed use will be at least as consistent with the policies and provisions of the Act and the Master Program and as compatible with the uses in the area as the pre-existing use.



36. Provide any additional information needed to verify the project's impacts to shoreline ecological functions: (attach additional sheets and relevant reports as necessary)

Lined area for providing additional information.

Authorization

37. Application is hereby made for permit(s) to authorize the activities described herein. I certify that I am familiar with the information contained in this application, and that to the best of my knowledge and belief such information is true, complete, and accurate. I further certify that I possess the authority to undertake the proposed activities. I hereby grant to the agencies to which this application is made, the right to enter the above-described location to inspect the proposed and or completed work.

All correspondence and notices will be transmitted to the Land Owner of Record and copies sent to the authorized agent or contact person, as applicable.

Signature of Authorized Agent:  
(REQUIRED if indicated on application)

Date:

X [Signature]

6-30-2018

Signature of Land Owner of Record  
(Required for application submittal):













Date:

X [Signature]

6-30-2018

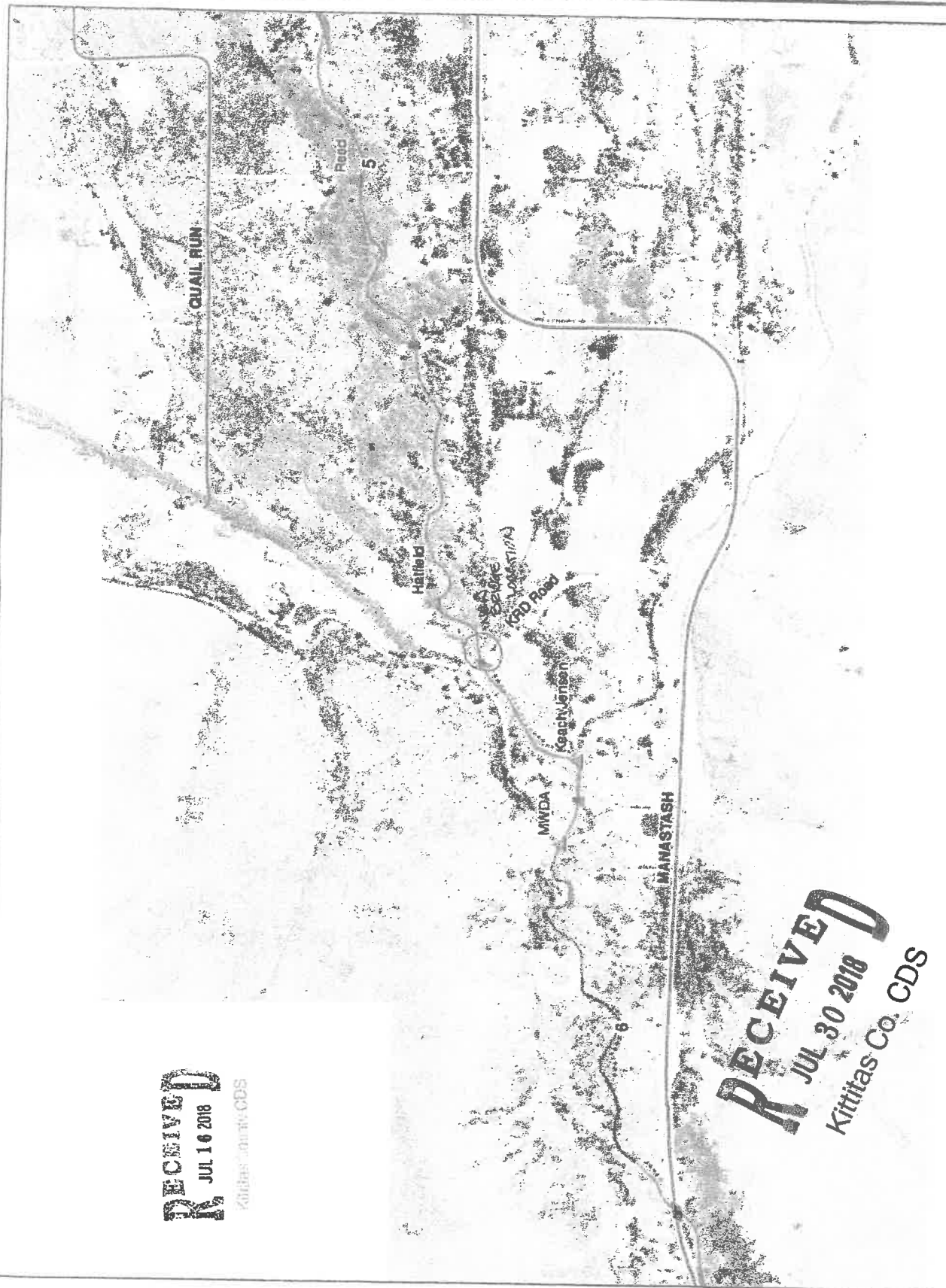
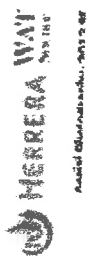
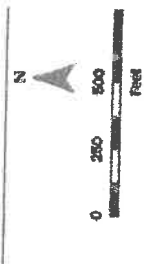
**Figure F-10**  
**Flood and Erosion Overlay**  
**Canyon and Fan**  
**Expansion Reaches**

**Legend**

-  Diversions
-  County Roads
-  Irrigation
-  Manastash Creek
-  Berm
-  Revetment
-  Fill
-  Bridges
-  May 2011 Erosion
-  May 2011 Sediment
-  May 2011 Flooding
-  River Mile

**Note:**  
 Layers including Berms, Revetment, Sediment, and Flooding approximations based on aerial photos and topography a accurate or complete in a.

River mile stationing included Manastash centerline.



**RECEIVED**  
 JUL 16 2018  
 Kittitas County CDS

**RECEIVED**  
 JUL 30 2018  
 Kittitas Co. CDS

PROPOSE BRIDGE  
MITCHELL & JULIE WILLIAMS  
7501 MANASTASH RD.  
ELLENSBURG, WA.

# EXHIBIT

RECEIVED  
JUL 30 2018

Kittitas Co. CDS

TAX PCL.  
17-17-11040-0007

TAX PCL.  
17-17-11040-0015

HEAD GATE AT  
FLUME INLET

EXISTING  
ASPHALT  
DRIVE

10' SIDE SETBACK

MANASTASH CREEK

BRIDGE

PROPOSED BRIDGE

SET  
LATH

TAX PCL.  
17-17-11040-0017

NEW DRIVEWAY

40'

FLUME  
OUTLET

EXISTING  
CULVERT

EXISTING  
DRIVEWAY

HEAD GATE



GRAPHIC SCALE



( IN FEET )  
1 inch = 100 ft.

RECEIVED  
JUL 16 2018

Kittitas County CDS



## SHORELINE PERMITTING

Mitch and Julie Williams  
7501 Manashtash Road  
Ellensburg, WA 98926

### Item 35. Summary/Conclusion Attachement

Will the proposed use be consistent with the policies of RCW 90.58.020 and the Kittitas County Shoreline Master Program?

Applicant Answer: YES

This proposed new bridge construction shall be the primary access for the existing residence located at 7501 Manashtash Road, Ellensburg, WA.

Policies as outlined by KCC Shoreline Master Program include Transportation policies which shall permit access to residential property development and existing development as defined in chapter 6.18. Access with a new bridge is required to assure the right of use for the existing improvements and connectivity for the ongoing agricultural activities of the the land owners. The existing bridge access use is subject to termination, restrictions, and disrepair. The existing board permit between Kittitas Reclamation District and Mitchel and Julie Williams has resulted in a potential disruption in access to our property. In addition to transportation requirements, Agricultural access and continuance of operation is a stated priority goal under the provisions of this policy. The land is zoned AG 20.

Consistent with the KCC policy the Bridge Design and construction standards as outlined will avoid damaged to the existing riparian corridor. Hydrology and Hydraulic Design is consistent with the 100 year flood flow projected at the site using the USGS most recent methods for calculating flood flows for rivers and streams in Washington, (Mastin et al. 2017) All construction work for the bridge will occur outside the low-flow channel, which will remain undisturbed. All bridge component are engineered as noted within the policy guidelines.

### KCC 6.8 Filling, grading, and excavation

This project is consistent with the policy stated which shall allow normal and reasonable land grading and filling where necessary to develop a land area for a permitted use. The applicant's design is consistent with these standards.

In accordance with the request of officials with the Dept. of Fish and Wildlife placement of cleared wood debris will be placed within the stream channel for fish habitat and wildlife enhancement under the direction of DFW concurrent with construction activities at the appropriate time. This practice is consistent with promoting the policy of KCC Shoreline Master Program under provision to enhance habitat conditions when possible as a result of the project.

**RECEIVED**  
JUL 30 2018

Kittitas Co. CDS

# Manastash Creek Bridge at Williams Property

Mitch and Julie Williams  
 7501 Manastash Road (site address)  
 P.O. Box 1702 (mailing address)  
 Ellensburg, WA 98926  
 509-899-0168 (cell)  
 mitch@mwilliams.net



## Drawing List:

1. Project Location & Drawing List
2. Basis of Design
3. Site Preparation & Water Control
4. Final Project Site Plan
5. Section at Upstream Edge Bridge
6. Stream Centerline Profile
7. Steel Bridge Requirements
8. Pre-cast Concrete Footings
9. Pre-cast Concrete Backwalls

## Certification and Statement (KCC title 12.08.020):

These construction plans for Manastash Creek Bridge at Williams Property were prepared by Paul Tappel, PE (Washington PE No. 23801) in accordance with the requirements of the Kittitas County Road Standards.

Paul Tappel, Professional Engineer, who has prepared these plans, by execution and/or seal hereof does hereby affirm responsibility to the County, as a beneficiary of said engineer's work, for any errors and omissions contained in these plans, and approval of these plans by the Department of Public Works shall not relieve the engineer who has prepared these plans of any such responsibility.

PROJECT LOCATION IS ABOUT 6 MILES SOUTHWEST OF ELLENSBURG, WA

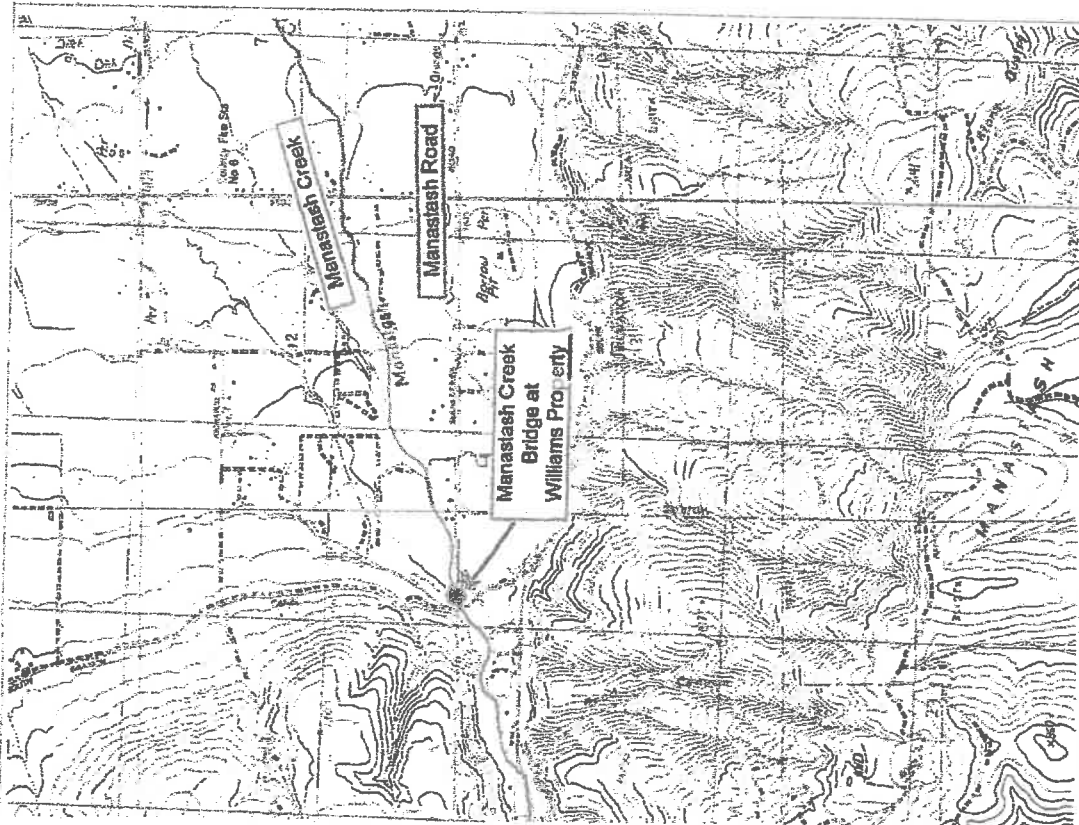


JULY 2018

MITCH AND JULIE WILLIAMS (OWNER) 7501 MANASTASH ROAD ELLENSBURG, WA 98926	509-899-0168	MANASTASH CREEK BRIDGE AT WILLIAMS PROPERTY
PAUL TAPPEL (ENGINEER) 3100 - 243rd STREET SW BRIER, WA 98036	425-482-6420	PROJECT LOCATION & DRAWING LIST DRAWING 1

These plans have been reviewed by Kittitas County Department of Public Works and have been accepted for complying with the requirements of Kittitas County Road Standards.

County Engineer \_\_\_\_\_ Date \_\_\_\_\_



MANASTASH CREEK BRIDGE LOCATION IN NW 1/4 SECTION 14, T17N, R12E, KITTITAS COUNTY. ACCESS TO THE SITE VIA DRIVEWAY AT 7501 MANASTASH ROAD. PROPOSED BRIDGE WILL BE ABOUT 70' DOWNSTREAM FROM A WOOD BRIDGE OWNED BY KITTITAS RECLAMATION DISTRICT ALONG SOUTH BRANCH CANAL. MAP SCALE: 1" = 2,000', USGS QUAD MAP 1:24,000 SCALE.

## Manastash Creek Bridge

### Basis of Design

#### **Project Objectives**

Provide a functional and cost-effective bridge crossing of Manastash Creek for vehicle access to one existing residence owned by Mitch and Julie Williams. Meet all requirements for flood flow conveyance, Emergency Vehicle Access (EVA), Kittitas County Code, fish passage and fisheries resources, floodplain development, etc.

#### **Site Survey**

A total station survey instrument (Leica TC800) was used to survey 0.4 acres surrounding the proposed bridge location. A 240'-long reach of Manastash Creek was surveyed to determine creek profile, cross-section dimensions, and other variables.

#### **Geotechnical**

On-site soils were observed to be coarse mixtures of cobble, gravel & sand, which are a mixture of native alluvial materials and imported rock. Allowable bearing pressure for these types of soils are 3,000 pounds per square foot (International Building Code, Table 1804.2). Total bearing capacity under proposed bridge footing slabs will be almost 250,000 pounds, which will substantially exceed any possible combination of dead load (e.g. structures and road surfacing) and live load (e.g. vehicles and snow).

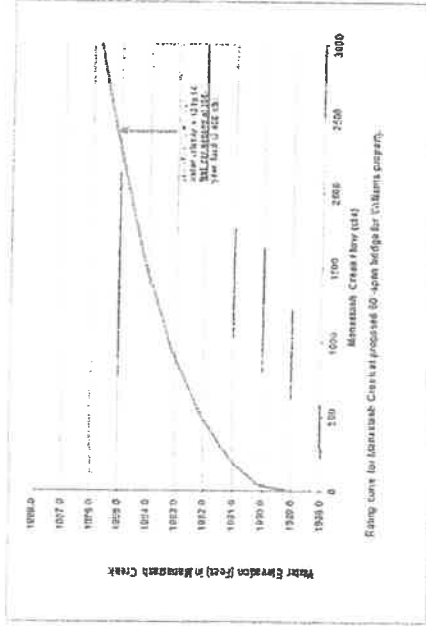
#### **Hydrology and Hydraulic Design**

The 100-year flood flow for Manastash Creek at the project site was estimated to be 2,600 cubic feet per second (cfs) using the USGS' most recent method for calculation of flood flows for ungaged streams and rivers in Washington (Mastin et al. 2017). It was assumed that 200 cfs would overtop from the mainstem creek upstream of the KR D canal. A peak flow rate = 2,400 cfs was used for bridge design.



A flow rating curve was developed to show the relationship between Manastash Creek flow and water surface elevation at the proposed bridge site (see below). Hydraulic conditions during a 100-year flood are estimated to be:

- Water depth 6' at the bridge location, with "standing waves" at least 1' high.
- Water velocity averaging 12 to 14 feet per second with high turbulence and whitewater.
- Substantial transport of large wood and bedload, turbid water conditions.



#### **Bridge Structure**

Superstructure to be a pre-fabricated modular weathering steel bridge 60'-span x 14'-wide deck for single-lane travel. Reinforced pre-cast concrete (WSDOT Class 4000) footings and backwalls to support each end of bridge. All bridge design to support HL-93 live load with deflection < L/300. HL-93 is a nominal (conceptual) 57-ton truck about 56'-long. The bridge structure will easily support fire apparatus as specified in KCC 20.02.050, for which the live load requirement is 75,000 pounds (37½ tons).

#### **Structure Protection from Hydraulic Forces**

Tractive force calculations and hydraulic conditions during the estimated 100-year flood were combined with the engineer's experience with design of stable stream channels, to select armor rocks 36" to 48"-size to wrap around concrete footings. Rock slopes will extend from above footing steps to about 2' below the creek's lowest channel elevation (thalweg) to minimize the chances for footing scour and/or undermining.

#### **Channel Characteristics, Open Area for Floods, etc.**

Stream simulation design considerations (for culverts) were adapted to the proposed bridge location. Measured Ordinary High Water (analogous to Channel Bed Width or Bankfull Width) was 42', which would suggest a drainage structure with span at least 52'-wide for stream simulation (per WDFW method). The selected 60'-span bridge will allow all construction work to be completed outside the existing low-flow channel, which will remain undisturbed.

The 100-year flood flow was routed under the proposed bridge using Manning's equation, and the bridge was designed for 3' freeboard (minimum) between the bottom of bridge beams and the flood water level. Total open area under the bridge will be 2.8 times an existing KR D bridge immediately upstream. The proposed bridge will have essentially zero effects on the 100-year flood flow, transport of large wood, bedload passage, fish passage, and other aquatic resource considerations.

#### **Site Preparation and Water Control**

Clearing within the wooded riparian area will be limited to an area about 5' outside the perimeter of excavation and fill for bridge and driveway construction. Four cottonwood trees 12" to 18"-trunk diameter will be placed over Manastash Creek downstream of the bridge, for in-stream large wood habitat similar to natural windthrow.

All excavation and fill work will be separated from flowing water. Trashpump(s) will be used to remove turbid water from excavated trenches (for rock slope placement), to prevent turbid water from splashing into Manastash Creek.

JULY 2018

MITCH AND JULIE WILLIAMS (OWNER)  
7500 MANASTASH ROAD  
ELLENBURG, WA 98926 509-899-0168

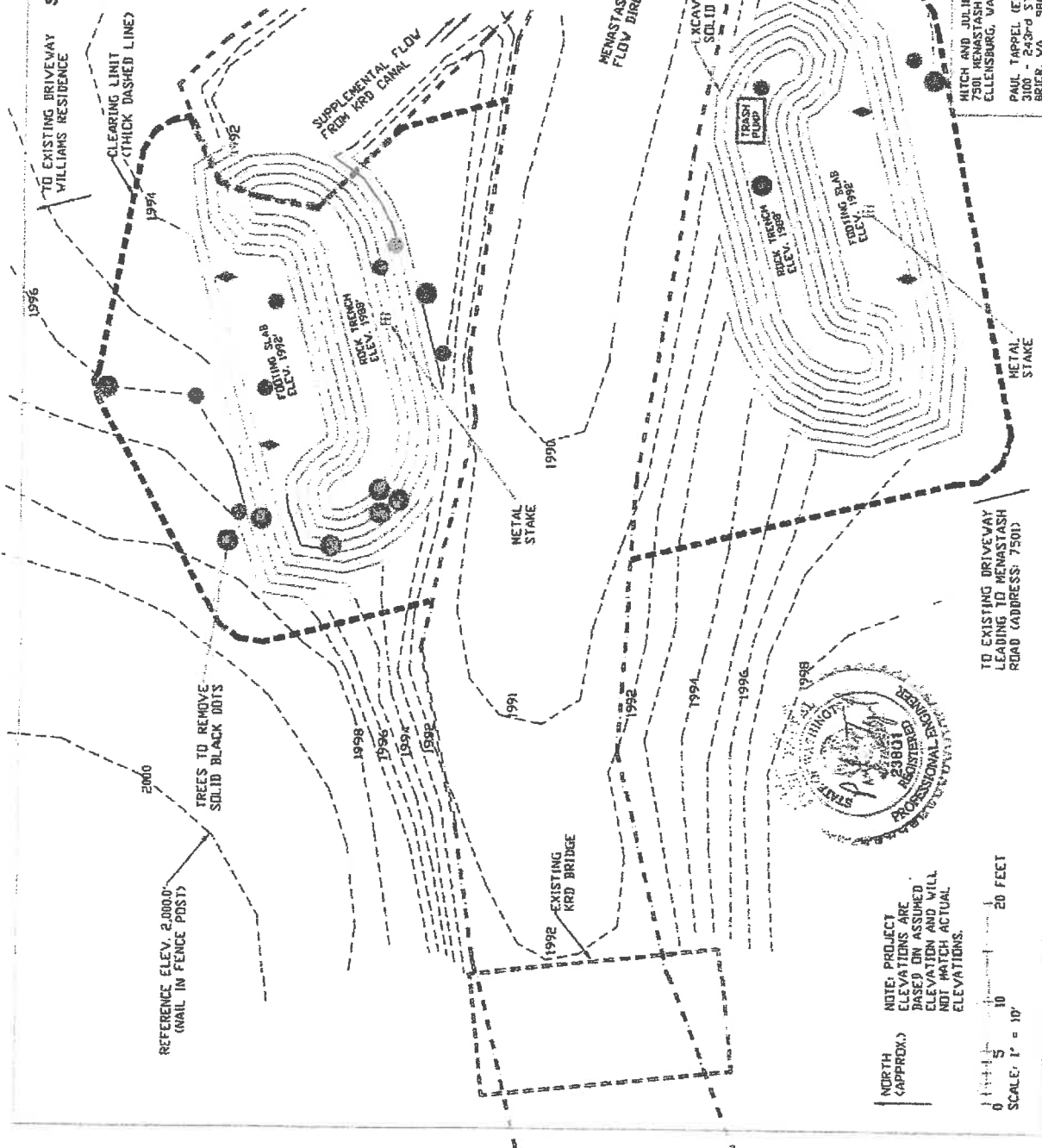
MANASTASH CREEK BRIDGE AT  
WILLIAMS PROPERTY

PAUL TAPPEL (ENGINEER)  
2100 243RD STREET SW  
BRIER, WA 98302 425-482-6420

BASIS OF DESIGN  
DRAWING 2

**Site Preparation & Water Control Notes:**

1. Clearing shall be completed prior to other work. All plants within clearing limits to be entirely removed, including 18 cottonwood trees 8" to 24" trunk diameter (pull out stumps). Four cottonwood trees 12" to 18" trunk diameters to be removed in largest pieces practical, then carried downstream of new bridge location (within 80') to be cast across creek to resemble natural stream. All other clearing debris to be disposed on-site within 400' of bridge location. All other clearing debris to be landowner. Pile debris and mesh down.
2. Engineer will set stakes at four outside footing corners for new bridge, shown as black diamonds this drawing, plus offset stakes to retain these locations during excavation.
3. There are no buried utilities at this project site.
4. Menastash Creek to remain within existing channel during entire bridge construction project (i.e. no creek bypass, no fish salvage needed). Approximate excavation contours shown this drawing would maintain separation of earthwork from flowing water. However, if minor site differences result in extension of excavation into shallow water areas, Contractor to place sandbag dam along creek bank to isolate excavation from flowing water.
5. Excavation to proceed from both sides of creek for placement of large rocks and footings. Separately stockpile cobble, gravel & sand materials from surface excavations, for retreated and bank backfill over rock slopes and underneath bridge (engineer will advise).
6. Engineer to lay out trenches for large rock placements, and will survey bottom elevations. Contractor to place several rows of large rocks (place largest rocks in bottom rows) to get above water level, then finish excavations for footing subgrades. Place pre-cast concrete footings, then backfill behind footings for equipment pads to finish placement of large rock slopes (see other drawings). Contractor to supply and operate gas-powered trenchpump(s) to remove muddy water from rock trenches, with discharge to fill ground (within 100') for infiltration into ground. Large rocks may be placed in shallow standing water, with trashpump(s) operated to prevent muddy water from splashing into creek.



NOTE: PROJECT ELEVATIONS ARE BASED ON ASSUMED ELEVATION AND WILL NOT MATCH ACTUAL ELEVATIONS.



JULY 2018

MENASTASH CREEK BRIDGE AT WILLIAMS PROPERTY  
 SITE PREPARATION & WATER CONTROL DRAWING 3

MITCH AND JULIE WILLIAMS (OWNER)  
 750 MENASTASH ROAD  
 ELLENBURG, VA 98986 509-959-0168

PAUL TAPPEL (ENGINEER)  
 3100 - 243RD STREET SW  
 BRIER, VA 98036 425-482-6420



NOTE: AFTER BRIDGE CONSTRUCTION, SPREAD 2 lb. EROSION CONTROL SEEDS OVER DISTURBED SOILS. THEN SPREAD 12 BALES STRAW MULCH.

REFERENCE ELEV. 2,000.0' (NAIL IN FENCE POST)

14'-WIDE ASPHALT OVER BRIDGE TAPERS TO 12'-WIDE PAVED DRIVEWAY. SLOPE ROAD FILL AT 1.5:1 TYP.

SECTION AT UPSTREAM EDGE BRIDGE, DWG. 5

TO EXISTING DRIVEWAY WILLIAMS RESIDENCE

PROPOSED CONTOURS SOLID BLACK LINES

SUPPLEMENTAL FLOW FROM KRD CANAL

10'-SPAN x 14'-WIDE WEATHERING STEEL BRIDGE w/ ASPHALT DECK

TYPICAL EDGE OF WATER

STREAM CENTERLINE PROFILE, DWG. 6

MEWASTASH CREEK FLOW DIRECTION

YEAR INDENT IN WINGWALL & LOAD RATING SIGN

EXISTING CONTOURS LIGHT DASHED LINES

ROCK SLOPE TO WRAP AROUND EACH BRIDGE FOOTING, SEE OTHER DWGS.

TO EXISTING DRIVEWAY LEADING TO MEWASTASH ROAD (ADDRESS: 7501)

SCALE: 1" = 10' 0 10 20 FEET

NORTH (APPROX.) NOTE: PROJECT ELEVATIONS ARE BASED ON ASSUMED ELEVATION AND WILL NOT MATCH ACTUAL ELEVATIONS.

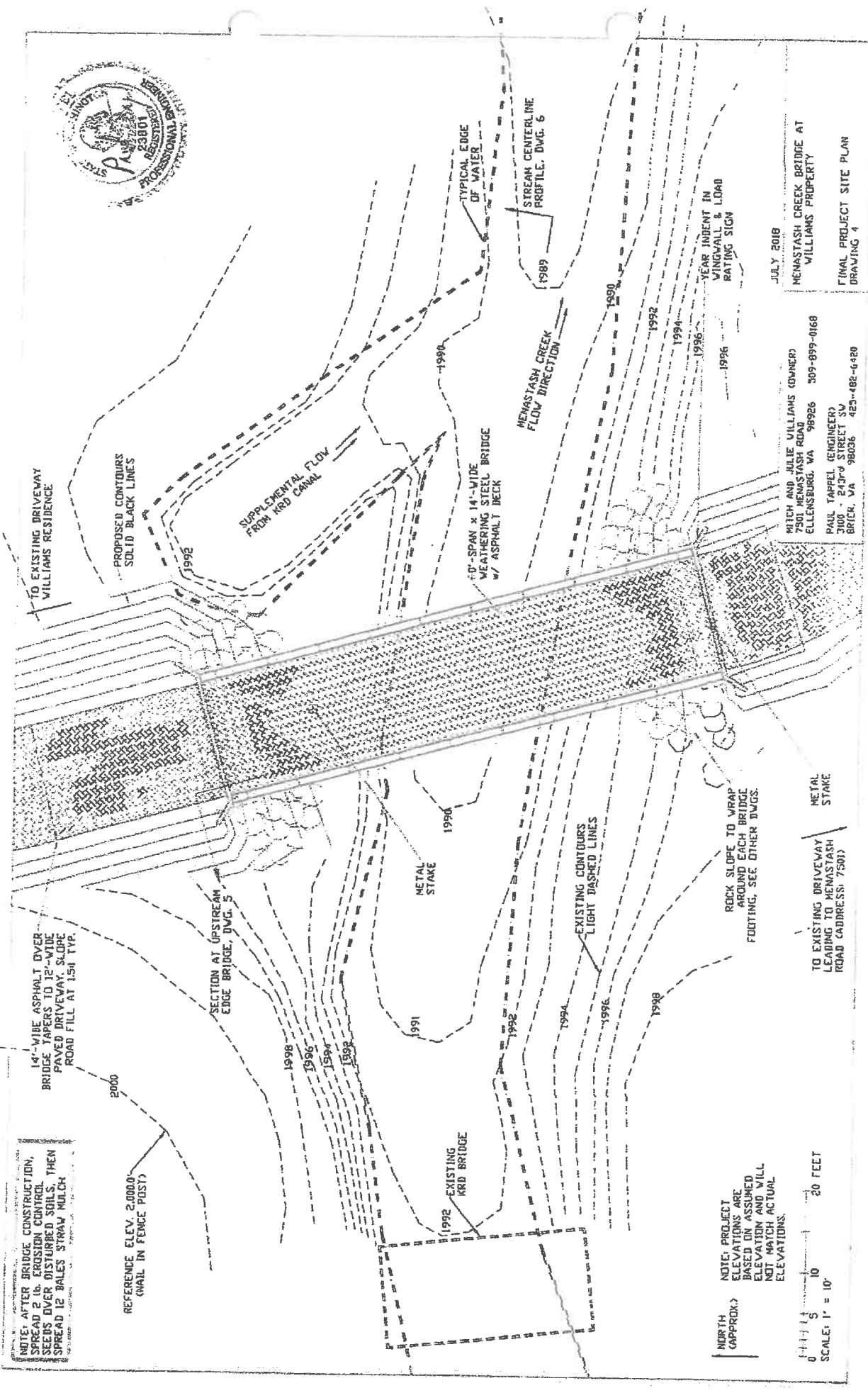
JULY 2018

MEWASTASH CREEK BRIDGE AT WILLIAMS PROPERTY

FINAL PROJECT SITE PLAN DRAWING 4

MITCH AND JULIE WILLIAMS (OWNER)  
7301 MEWASTASH ROAD  
ELLENBURG, VA 98926 309-899-0168

PAUL TAPPEL (ENGINEER)  
3100 S. 24TH STREET SW  
BRIER, VA 98036 425-482-6420



**Streambank Notes:**

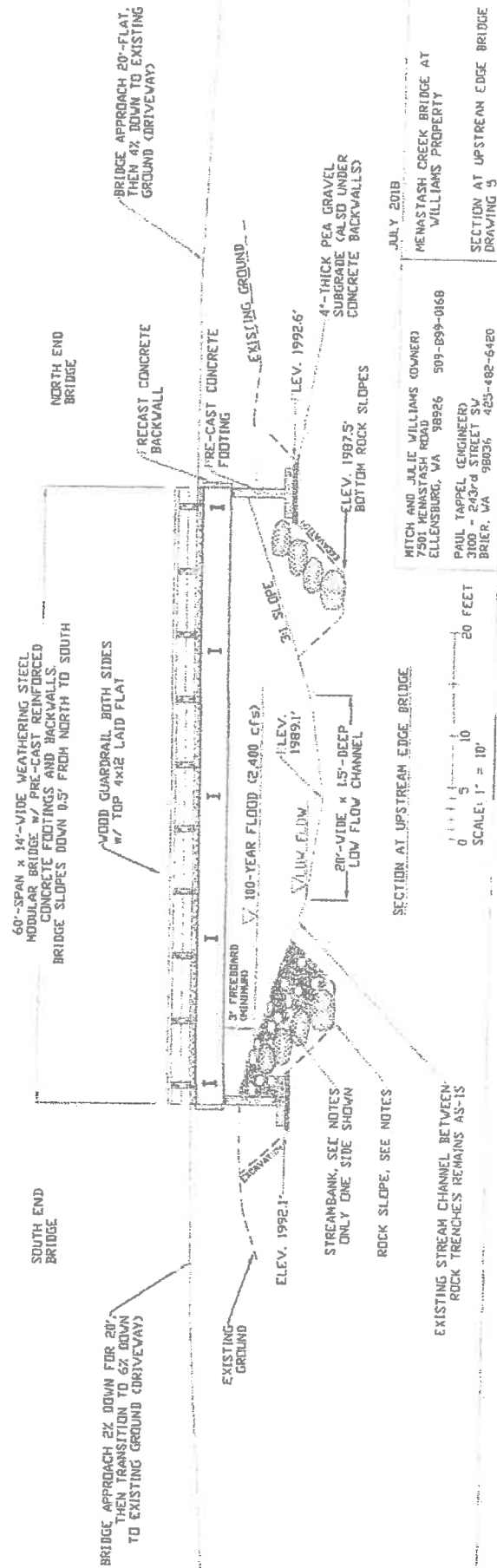
1. For excavation of rock trenches and footing subgrades, remove surface layers of cobble, gravel & sand to stockpile separately (engineer to advise). These relatively coarse (vs. silty) native materials will be used to fill over rock slopes, and to re-build Manastash Creek banks after footing placement.
2. Native cobble, gravel & sand materials to be spread over rock slopes, and around bridge footings as shown in this drawing. Final streambank contours will be approximately the same as original bank contours in near vicinity to and under the new bridge.
3. Native cobble, gravel, & sand materials to be placed under and around bridge spread over large rocks and along the bank, then roughly raked with excavator teeth for final streambanks.

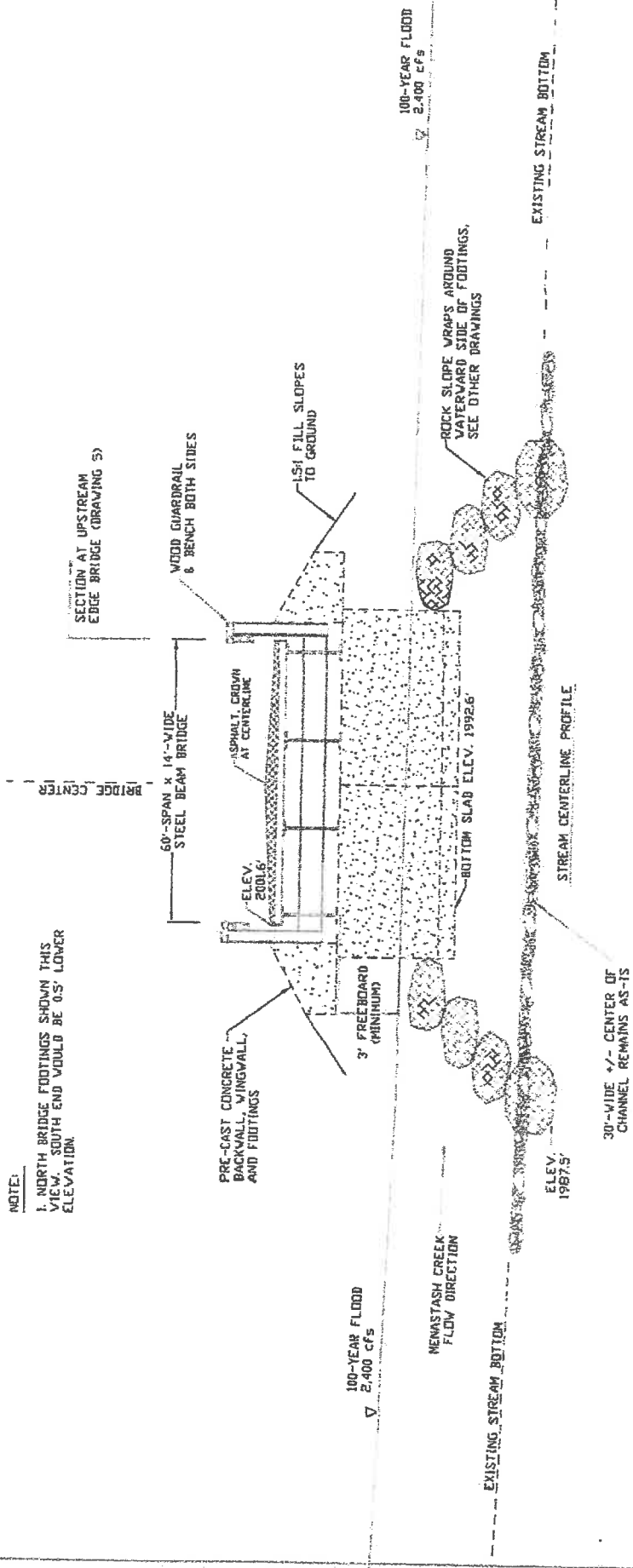
**Rock Slope Notes:**

1. Engineer will assist with layout for rock slope trenches and rock placement.
2. Rocks to be 36" to 48"-size, with largest rocks placed in bottom rows.
3. Place rocks one at a time for single row, then backfill with native soils to top of rocks, tamp backfill, then place next row rocks. Top of rocks shall be at slope 1.5:1 approximately.
4. Bottom rows rocks may be placed in shallow standing water in trench. Pump water as required to prevent overflow into creek channel.
5. Top of rock slopes shall be at least 12" above top of pre-cast concrete footing slabs.

**Bridge Elevation & Open Area Notes:**

1. New bridge deck will be 1.5' to 2.0' higher than the existing KR D wood bridge's deck about 70' upstream. The higher deck elevation will provide 3' freeboard (minimum) over the estimated 100-year flood (2,400 cfs).
2. Open area under the new bridge for flood flow conveyance, wood and bedload transport, fish passage, and all fluvial processes will be 342 ft<sup>2</sup>. Open area under the existing KR D wood bridge = 123 ft<sup>2</sup>. The proposed bridge will have open area 2.8 times as large as the existing KR D bridge (which withstood the May 2011 flood), resulting in no obstruction to the 100-year flood, large wood transport, bedload passage, etc. for Manastash Creek.





NOTE:  
1. NORTH BRIDGE FOOTINGS SHOWN THIS VIEW. SOUTH END WOULD BE 0.5' LOWER ELEVATION.

JULY 2018  
 MEMTASH CREEK BRIDGE AT WILLIAMS PROPERTY  
 MITCH AND JULIE WILLIAMS (OWNER)  
 7501 NEMASTASH ROAD  
 ELLENSBURG, WA 98026 509-899-0168  
 PAUL TAPPEL (ENGINEER)  
 3100 - 243<sup>RD</sup> STREET SW  
 BRIER, WA 98036 425-482-6420  
 STREAM CENTERLINE PROFILE  
 DRAWING 6



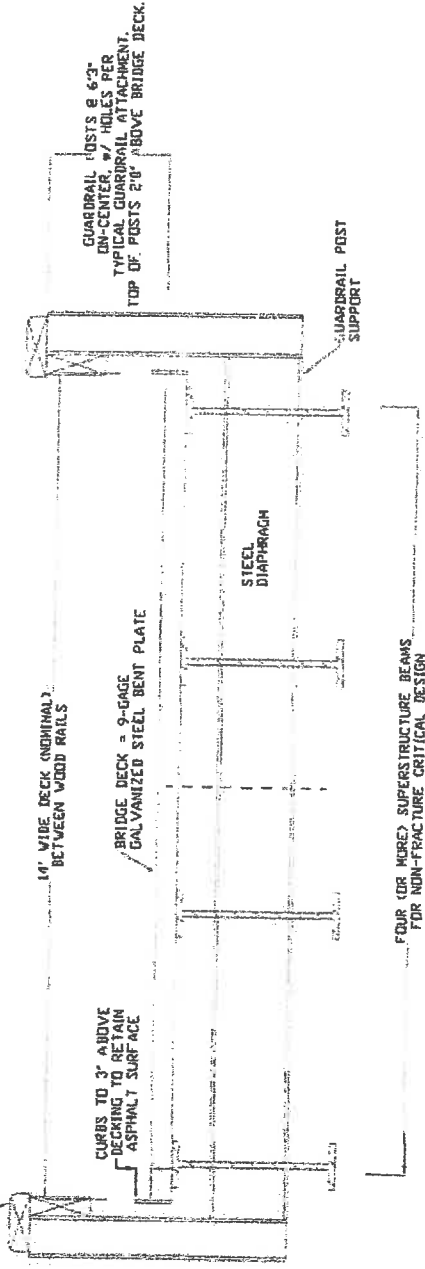
**STEEL BRIDGE REQUIREMENTS:**

- 60'-SPAN (BEAM END-TO-END) BY 14'-WIDE (DECK WIDTH) MODULAR WEATHERING STEEL BEAM BRIDGE TO BE PRE-FABRICATED AND SHIPPED TO THE PROJECT SITE (6 MILES SOUTHWEST OF ELLENSBURG, WASHINGTON, ACCESSIBLE BY ROAD).
- ALL ON-SITE WORK INCLUDING LIFTING THE BRIDGE OFF TRANSPORT TRUCK(S), PLACING BRIDGE ON BEARING PLATES, WELDING BEAMS TO PLATES, BOLT INSTALLATION ALONG BRIDGE CENTERLINE, AT BEARING PLATES, AND RAIL ASSEMBLY WILL BE ACCOMPLISHED BY ON-SITE CONTRACTOR.
- WOOD RAIL MATERIALS (4x12's) AND RAIL HARDWARE TO BE SUPPLIED BY ON-SITE CONTRACTOR AND ALL RAIL ASSEMBLY BY CONTRACTOR. METAL GUARDRAILS NOT NEEDED FROM BRIDGE SUPPLIER.
- CONTRACT SPECIFICATION 6-03 (INCLUDES DETAILED REQUIREMENTS FOR BRIDGE DESIGN AND SUPPLY. THIS DRAWING SUPPLEMENTS THIS SPECIFICATION).
- BRIDGE SUPPLIER TO PROVIDE BRIDGE SUPERSTRUCTURE PRE-FABRICATED IN HALVES WITH DECK MATERIAL ATTACHED, BEARING PLATES, ELASTOMERIC (OR SIMILAR) BEARING PADS, RAIL POSTS, AND ALL ASSEMBLY HARDWARE (NUTS AND BOLTS).

**LOADS AND DEFLECTION:**

- LIVE LOAD = HL-93 (14,000 POUNDS OVER 55'-LONG VEHICLE AXLES).
- INCLUDE ASPHALT DECK 3"-THICK AT CURBS (TO TOP OF CURBS) AND CROWNED 3" TO BRIDGE CENTERLINE FOR DEAD LOAD.
- LIVE LOAD REFLECTION < 1/300.

WOOD RAILS & BENCHES SEE DETAILS IN SPECIFICATION. TOP BENCH TO OVERHANG INSIDE EDGE RAIL BY 1/2".



FOUR (OR MORE) SUPERSTRUCTURE BEAMS FOR NON-FRACTURE CRITICAL DESIGN

STEEL BRIDGE  
SYNTHETIC CROSS-SECTION

THIS CROSS-SECTION SHOWS FOUR W23x BEAMS @ 4'-3" ON-CENTER; THESE BRIDGE ELEMENTS MAY VARY WITH FINAL DESIGN.

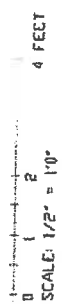
JULY 2018

MEVASTASH CREEK BRIDGE AT WILLIAMS PROPERTY

MITCH AND JULIE WILLIAMS (OWNER)  
750 MEVASTASH ROAD  
ELLENSBURG, WA 99926 509-899-0168

PAUL TAPPEL (ENGINEER)  
3100 - 243rd STREET SW  
BRIER, WA 98005 425-482-6420

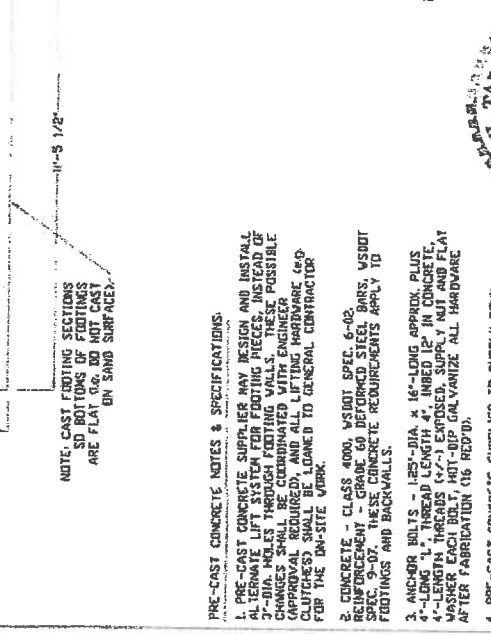
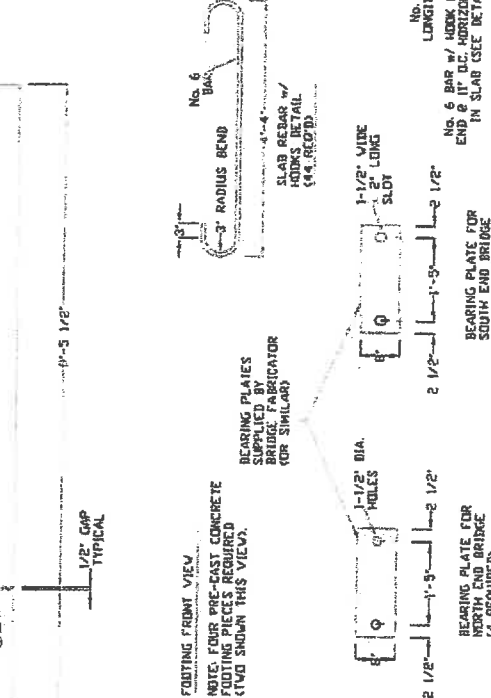
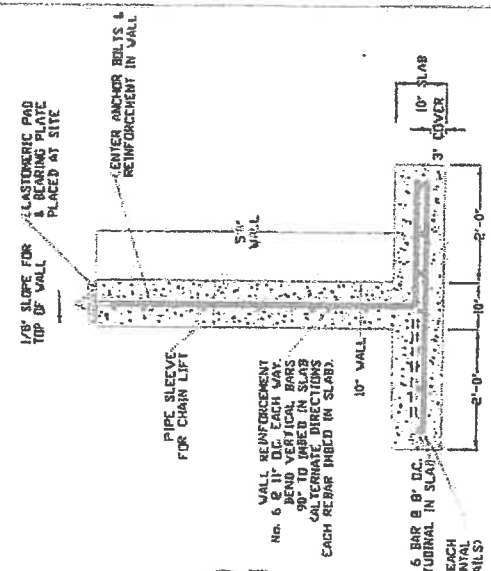
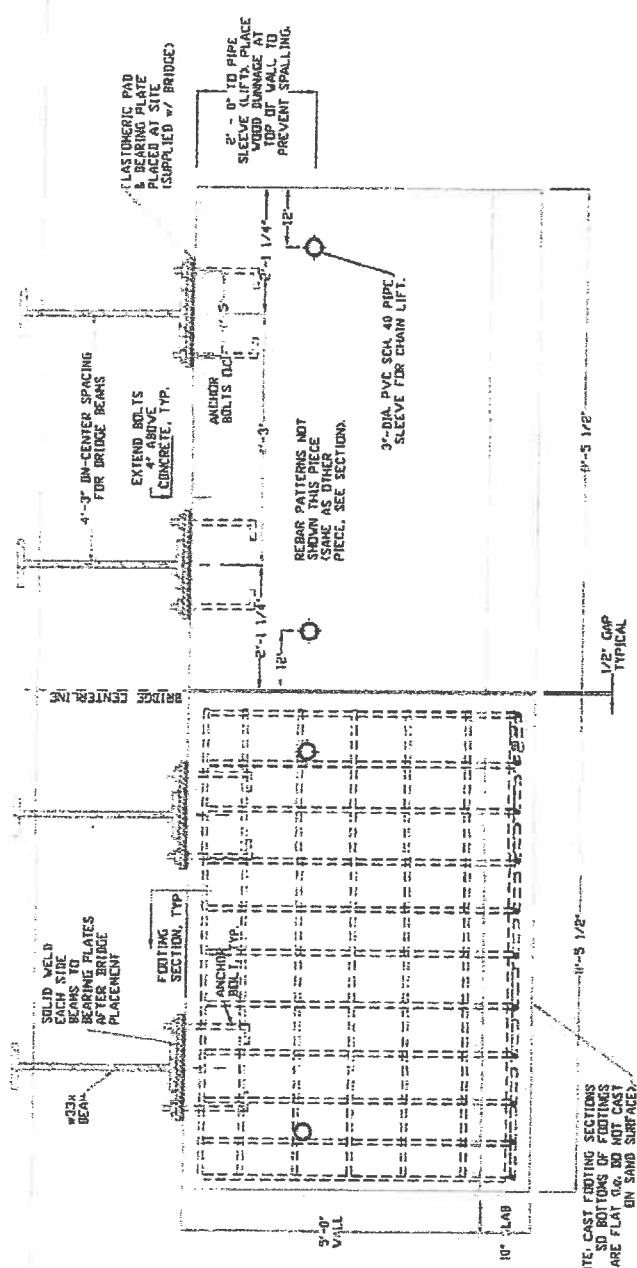
STEEL BRIDGE REQUIREMENTS  
DRAWING 7





SCALE 1/2" = 10'  
0 1 2 4 FEET

NOTE: THIS DRAWING BASED ON ASSUMED BRIDGE BEAM SPACING AND BEARING PLATE SIZE. THE ENGINEER WILL REVIEW BRIDGE DESIGN SHOP DRAWINGS, AND WILL MAKE CHANGES TO PRE-CAST CONCRETE DRAWINGS (INCLUDING BACKWALLS), DEPENDING ON FINAL BRIDGE SUPERSTRUCTURE DESIGN.



1/8\"/>

PIPE SLEEVE FOR CHAIN LIFT  
 5\"/>

WALL REINFORCEMENT  
 No. 6 WALL REINFORCEMENT  
 90° TO WALL IN SLAB  
 ALTERNATE DIRECTIONS  
 EACH REBAR IMBED IN SLAB.

No. 6 BAR 8\"/>

No. 6 BAR 8\"/>

JULY 2018  
 MANASTASH CREEK BRIDGE AT  
 WILLIAMS PROPERTY  
 PRE-CAST CONCRETE FOOTINGS  
 DRAWING 8

MITCH AND JULIE WILLIAMS (OWNER)  
 7701 MANASTASH ROAD  
 ELLENBURG, VA 98926 509-899-0168

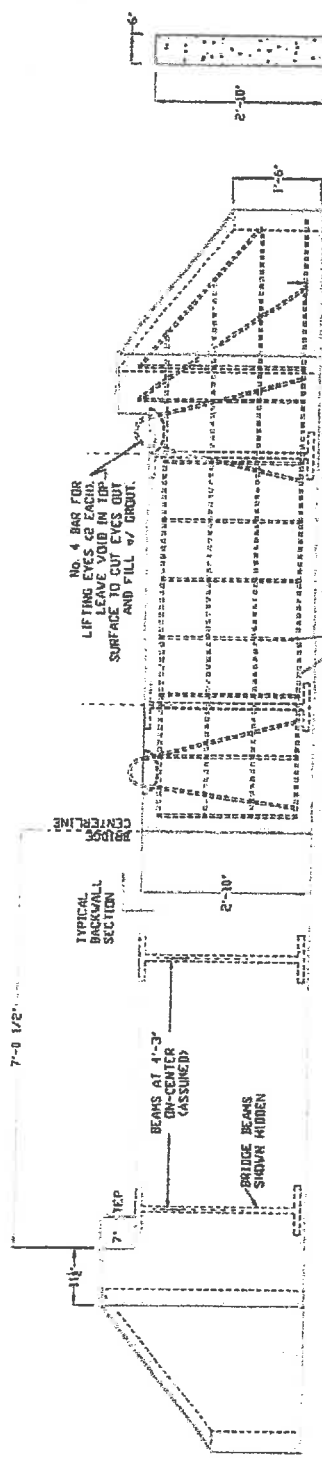
PAUL TAPPEL (ENGINEER)  
 3100 - 243RD STREET SW  
 BRIER, VA 98036 425-482-6420



NOTE: CAST FOOTING SECTIONS SO BOTTOMS OF FOOTINGS ARE FLAT. G.O. DO NOT CAST ON SAND SURFACE.

PRE-CAST CONCRETE NOTES & SPECIFICATIONS:

1. PRE-CAST CONCRETE SUPPLIER MAY RESIZE AND INSTALL ALTERNATE LIFT SYSTEM FOR FOOTING PIECES. INSTEAD OF CHANGES SHALL BE COORDINATED WITH ENGINEER (INCLUDING BACKWALLS), AND ALL LIFTING HARDWARE (G.O. CLUTCHED) SHALL BE ALLOWED TO GENERAL CONTRACTOR FOR THE ON-SITE WORK.
2. CONCRETE - CLASS 4000, WSDOT SPEC. 6-02. REINFORCEMENT - GRADE 60 DEFORMED STEEL BARS; WSDOT SPEC. 6-02. ALL REINFORCEMENT REQUIREMENTS APPLY TO FOOTINGS AND BACKWALLS.
3. ANCHOR BOLTS - 1/2\"/>
4. PRE-CAST CONCRETE SUPPLIER TO SUPPLY FOUR PRE-CAST CONCRETE FOOTING PIECES ON-SITE BY ANCHOR BOLTS & HARDWARE. BRIDGE SUPPLIER TO SUPPLY ALL HARDWARE AND SYSTEMIC PASSIVE PRE-CAST CONCRETE SUPPLIER ALSO TO SUPPLY FOUR BACKWALL PIECES ON-SITE.
5. ON-SITE GENERAL CONTRACTOR TO LIFT PRE-CAST SURFING PIECES BY TRUCK AND PLACE ON PEA GRAVEL BEARING PLATE. PRE-CAST CONCRETE BACKWALLS REST ON TOP OF PEA GRAVEL BEARING.
6. FOOTING PIECES = 11,500 LB. EACH (APPROX.).

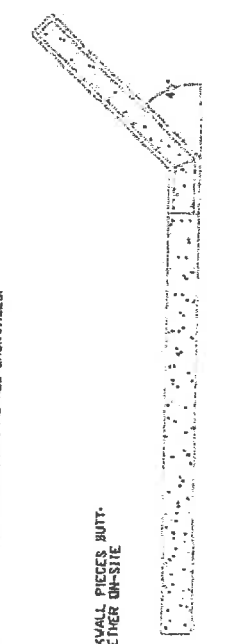


TYPICAL BACKWALL SECTION

No. 4 BAR FOR LIFTING EYES (2 EACH) LEAVE VOID IN TOP SURFACE TO CUT EYES OUT AND FILL w/ GROUT.

No. 4 REBAR @ 9" O.C. HORIZONTAL AND No. 4 BARS @ 12" O.C. VERTICAL. ALL BARS ANGLED w/ WING. REBAR PATTERN SAME FOR ALL BACKWALLS.

BACKWALL ELEVATION VIEW (LOOKING LANIWARD)



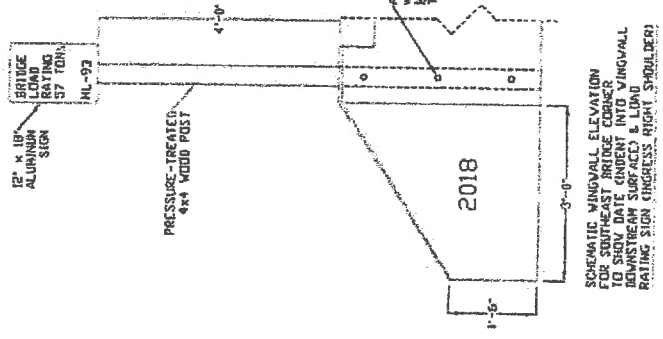
TYPICAL BACKWALL SECTION

BACKWALL PIECES BUTT TOGETHER ON-SITE

CHAMFER WINGWALL TOP EDGES TO STEP

WINGWALL

BACKWALL TOP VIEW



NOTE: LOAD RATING SIGN WOULD FACE OPPOSITE DIRECTION FROM DATE (TOWARDS VEHICLE INGRESS)

SCHEMATIC WINGWALL ELEVATION FOR SIGN PLACEMENT. DATE TO SHOW DATE (UNLESS OTHERWISE NOTED) DENOTES DATE OF SIGN RATING SIGN (INGRESS RIGHT SHOULDER)

0 1 2 4 FEET  
SCALE: 1/2" = 1'-0"

PRE-CAST CONCRETE BACKWALL NOTES:

1. TWO PAIRS REPTD AS SHOWN.
2. CHAMFER TOP AND END EDGES 1" ON OUTSIDE LENGTHS EACH BACKWALL & WINGWALL SECTION TO STEP.
3. CUT OFF REBAR LIFT LOOPS AT LEAST 1/2" BELOW TOP OF BACKWALL, AND FILL HOLES w/ GROUT AFTER PLACEMENT.
4. INVENTURE DATE (YEAR) ON DOWNSTREAM FACE OF WINGWALL. HEIGHT 1'-1 1/2" W/OC x 3/8" DEEP NUMBERS (SEE SCHEMATIC).



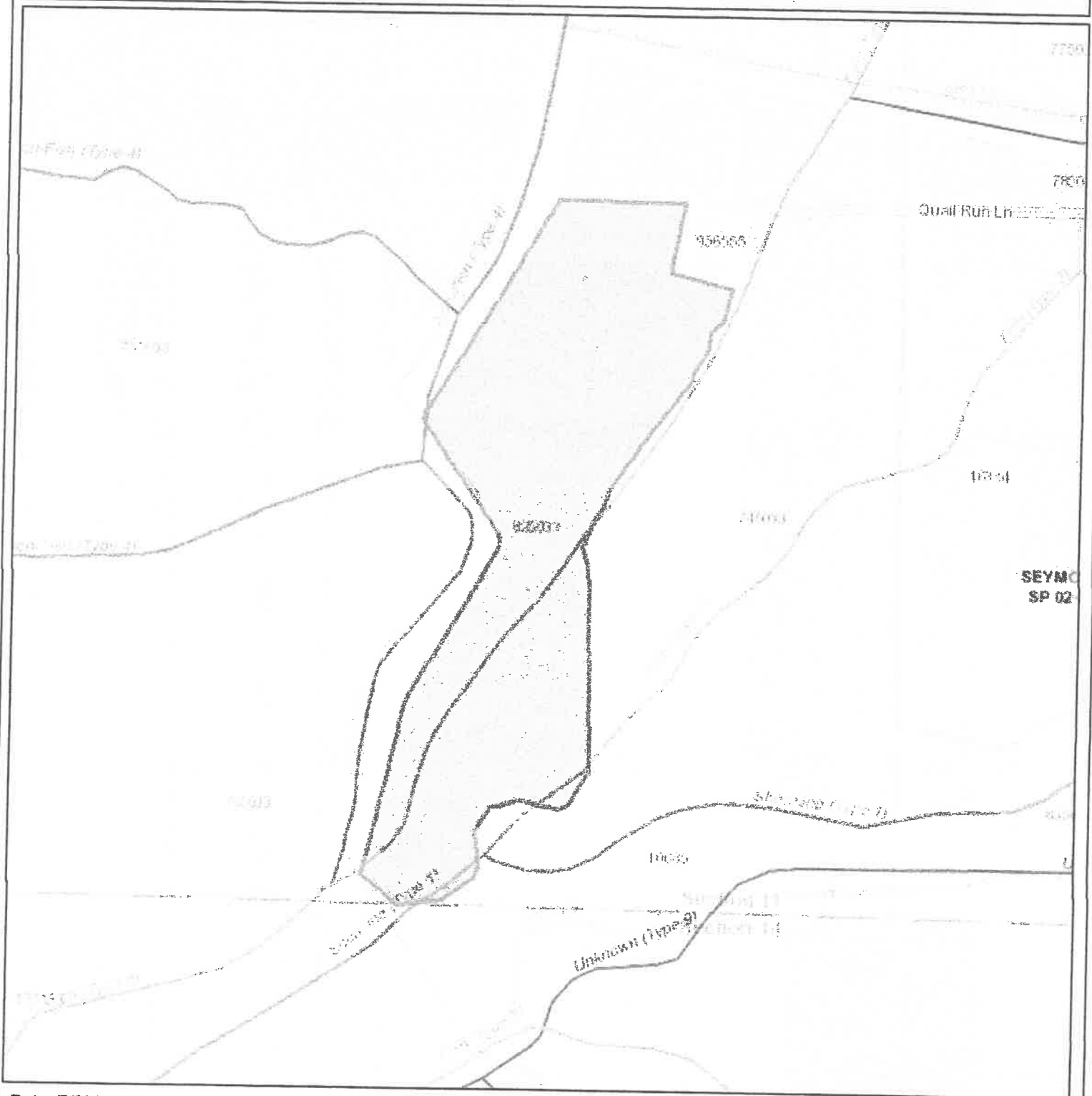
JULY 2018

MANASTASH CREEK BRIDGE AT WILLIAMS PROPERTY  
PRE-CAST CONCRETE BACKWALLS  
DRAWING 9

MITCH AND JULIE WILLIAMS (OWNER)  
7501 MANASTASH ROAD  
ELLENSBURG, VA 98986 509-899-0168

PAUL TAPPEL (ENGINEER)  
3100 - 243rd STREET SW  
BRIER, VA 98026 425-482-6420

# Stream map for PSA PSA-18-00355



Date: 7/23/2018

1 inch = 376 feet  
Relative Scale 1:4,514

**Disclaimer:**

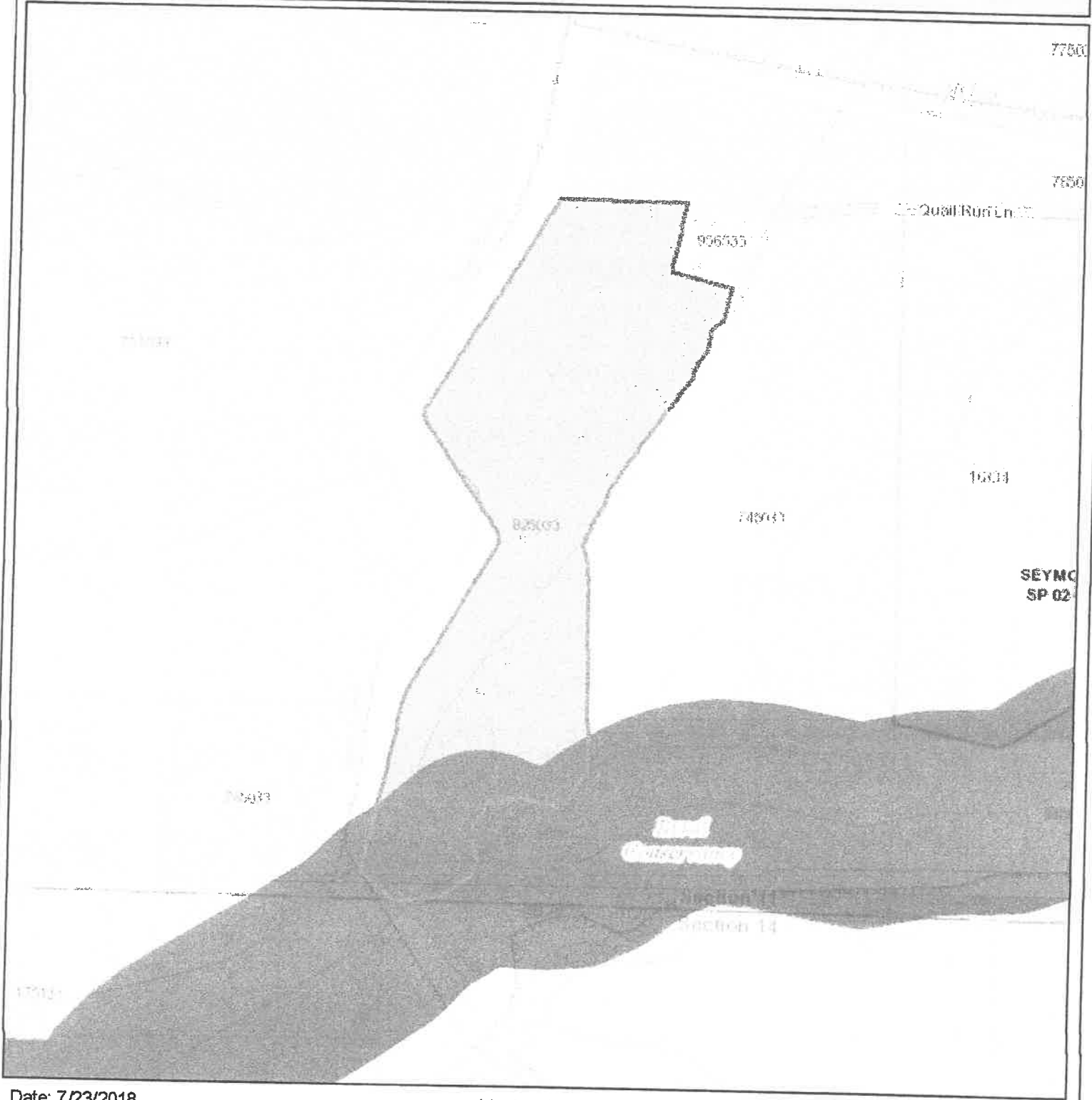
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**RECEIVED**  
JUL 30 2018

Kittitas Co. CDS



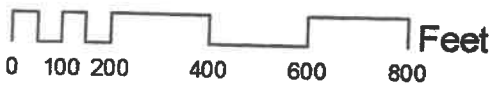
# Shoreline map for PSA PSA-18-00355

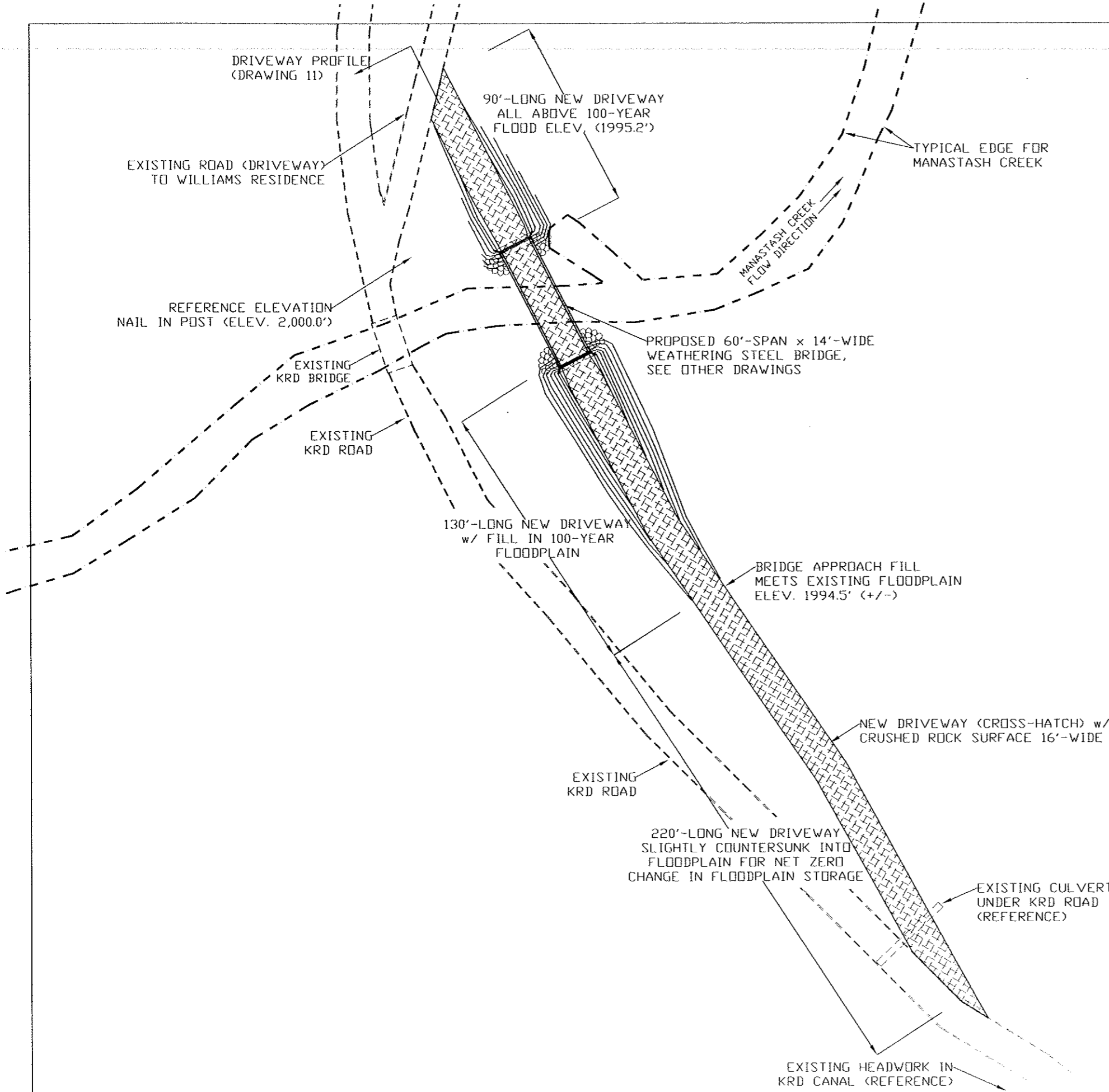


Date: 7/23/2018

1 inch = 376 feet  
Relative Scale 1:4,514

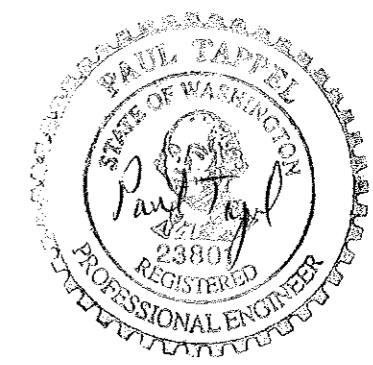
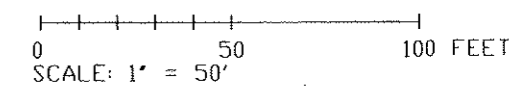
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NORTH (APPROX.)

NOTE: PROJECT ELEVATIONS ARE BASED ON ASSUMED ELEVATION AND WILL NOT MATCH ACTUAL ELEVATIONS.



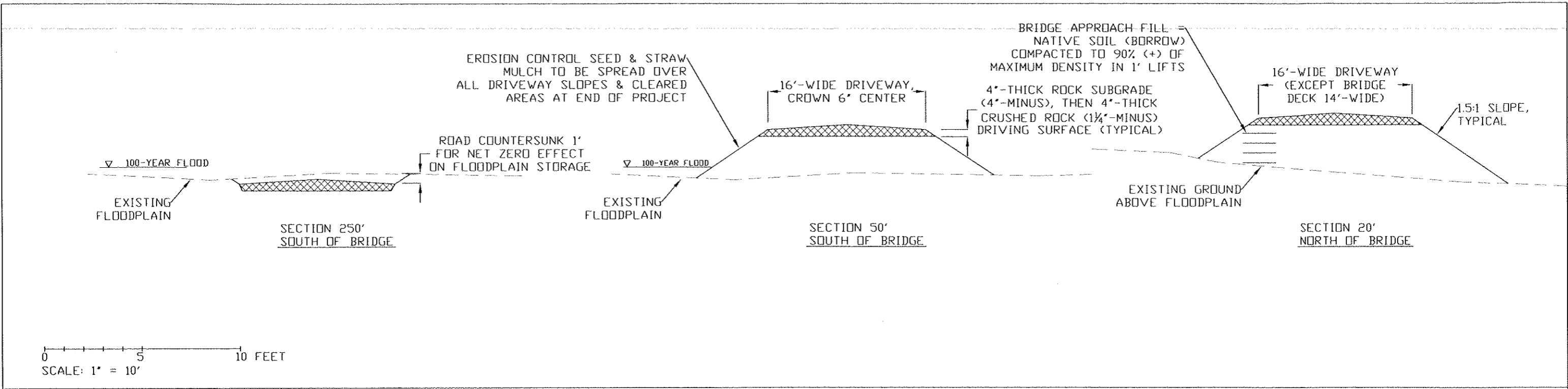
FEBRUARY 2019

MITCH AND JULIE WILLIAMS (OWNER)  
 7501 MENASTASH ROAD  
 ELLENSBURG, WA 98926 509-899-0168

PAUL TAPPEL (ENGINEER)  
 3100 - 243rd STREET SW  
 BRIER, WA 98036 425-482-6420

MANASTASH CREEK BRIDGE AT WILLIAMS PROPERTY

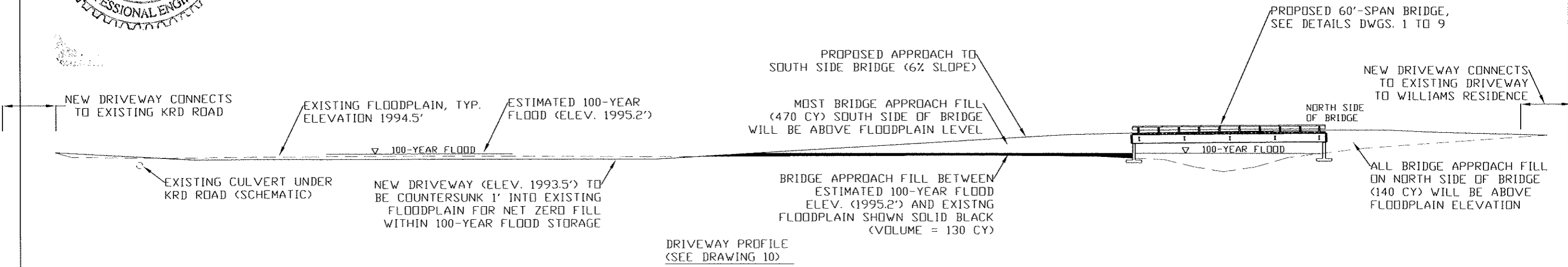
DRIVEWAY AND BRIDGE SITE PLAN  
 DRAWING 10



SECTION 250' SOUTH OF BRIDGE

SECTION 50' SOUTH OF BRIDGE

SECTION 20' NORTH OF BRIDGE



FEBRUARY 2019

MITCH AND JULIE WILLIAMS (OWNER)  
7501 MENASTASH ROAD  
ELLENSBURG, WA 98926 509-899-0168

PAUL TAPPEL (ENGINEER)  
3100 - 243rd STREET SW  
BRIER, WA 98036 425-482-6420

MANASTASH CREEK BRIDGE AT WILLIAMS PROPERTY

DRIVEWAY PROFILE & SECTIONS  
DRAWING 11



# Memorandum

To: Chelsea Benner, Kittitas County CDS  
Mark Cook (PE), Kittitas County Public Works Department

From: Paul Tappel

Date: April 23, 2019

Re: Addendum to SD-18-00001 Williams (Shoreline Development Permit Application)  
GP-18-00018 Williams (Grading Permit Application)

---

I have modified all drawings (11 each) as follows:

- Bridge deck will be 16'-wide (open) between wood rails, and the entire proposed driveway will be 16'-wide.
- Bridge design drawings, and driveway site plan, profile & sections are all in one drawing set now, instead of split into two drawing sets.
- A few additional notes are listed on Drawing 2 (Basis of Design) to combine the proposed bridge with driveway design, floodplain considerations, etc.
- All drawings are dated April 2019, and this drawing set completely replaces previous drawing sets.

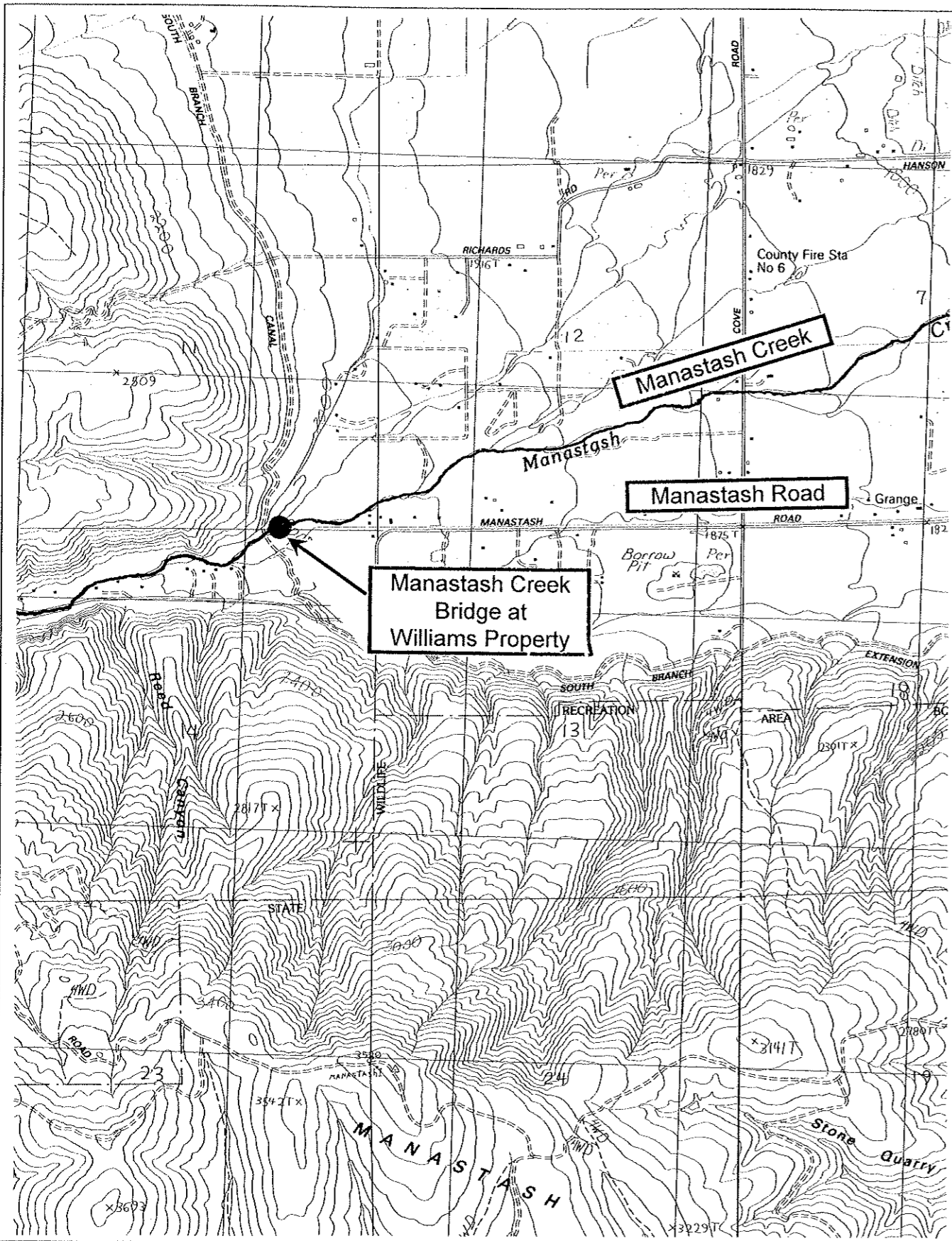
The revised bridge and driveway design (16'-wide vehicle access) should resolve the only remaining design uncertainty identified by Kittitas County. I presume my technical memos February 15, 2019 (to both of you) sufficiently clarified and/or answered all other county questions for these permits.

I checked back at my calculations and notes for estimates of disturbed areas, clearing, floodplain fill, net zero change for floodplain fill, etc. Since I had used a 16'-wide driveway for all previous estimates and calculations (see Drawing 11, dated March 2019), my calculations for net zero floodplain fill are exactly the same now, as with the previously proposed 14'-wide bridge deck.

The only changes from previous design submittals are that the bridge deck will be 16'-wide (vs. 14'-wide), this deck will cast a slightly larger shadow over Manastash Creek, and pre-cast concrete footings and backwalls are 2'-longer to support the wider bridge deck.

Please give me a call (or e-mail) if you have any questions or concerns, thank you !

Paul Tappel

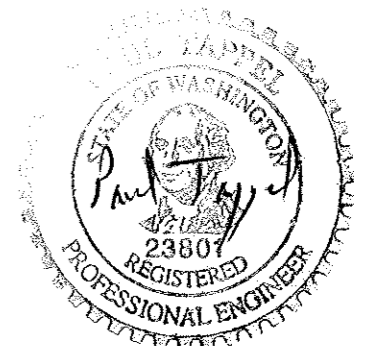


MANASTASH CREEK BRIDGE LOCATION IN NW ¼ SECTION 14, T17N, R17E, KITTITAS COUNTY. ACCESS TO THE SITE VIA DRIVEWAY AT 7501 MANASTASH ROAD. PROPOSED BRIDGE WILL BE ABOUT 70' DOWNSTREAM FROM A WOOD BRIDGE OWNED BY KITTITAS RECLAMATION DISTRICT ALONG SOUTH BRANCH CANAL. MAP SCALE: 1" = 2,000', USGS QUAD MAP 1:24,000 SCALE.

## Manastash Creek Bridge & Driveway at Williams Property

Mitch and Julie Williams  
 7501 Manastash Road (site address)  
 P.O. Box 1702 (mailing address)  
 Ellensburg, WA 98926

509-899-0168 (cell)  
 mitch@mfwilliams.net



### Drawing List:

- 1 Project Location & Drawing List
- 2 Basis of Design
- 3 Site Preparation & Water Control
- 4 Final Project Site Plan
- 5 Section at Upstream Edge Bridge
- 6 Stream Centerline Profile
- 7 Steel Bridge Requirements
- 8 Pre-cast Concrete Footings
- 9 Pre-cast Concrete Backwalls
- 10 Driveway & Bridge Site Plan
- 11 Driveway Profile & Sections

### Certification and Statement (KCC Title 12.08.020):

These construction plans for Manastash Creek bridge and driveway at Williams property were prepared by Paul Tappel, PE (Washington PE No. 23801) in accordance with the requirements of the Kittitas County Road Standards.

Paul Tappel, Professional Engineer, who has prepared these plans, by execution and/or seal hereof does hereby affirm responsibility to the County, as a beneficiary of said engineer's work, for any errors and omissions contained in these plans, and approval of these plans by the Department of Public Works shall not relieve the engineer who has prepared these plans of any such responsibility.

APRIL 2019



PROJECT LOCATION IS ABOUT 6 MILES SOUTHWEST OF ELLENSBURG, WA

MITCH AND JULIE WILLIAMS (OWNER) 7501 MANASTASH ROAD ELLENSBURG, WA 98926 509-899-0168	MANASTASH CREEK BRIDGE AT WILLIAMS PROPERTY
PAUL TAPPEL (ENGINEER) 3100 - 243rd STREET SW BRIER, WA 98036 425-482-6420	PROJECT LOCATION & DRAWING LIST DRAWING 1

These plans have been reviewed by Kittitas County Department of Public Works and have been accepted for complying with the requirements of Kittitas County Road Standards.

County Engineer \_\_\_\_\_ Date \_\_\_\_\_



# Manastash Creek Bridge

## Basis of Design

### Project Objectives

Provide a functional and cost-effective bridge crossing of Manastash Creek and new driveway for vehicle access to one existing residence owned by Mitch and Julie Williams. Meet all requirements for flood flow conveyance, Emergency Vehicle Access (EVA), Kittitas County Code, fish passage and fisheries resources, floodplain development, etc.

### Site Survey

A total station survey instrument (Leica TC800) was used to survey 0.4 acres surrounding the proposed bridge location. A 240'-long reach of Manastash Creek was surveyed to determine creek profile, cross-section dimensions, and other variables.

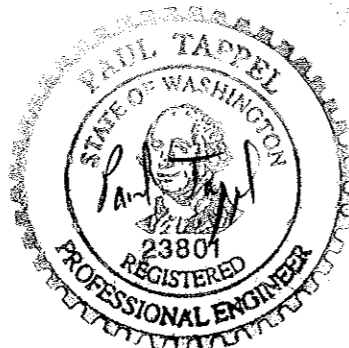
### Geotechnical

On-site soils were observed to be coarse mixtures of cobble, gravel & sand, which are a mixture of native alluvial materials and imported rock. Allowable bearing pressure for these types of soils are 3,000 pounds per square foot (International Building Code, Table 1804.2). Total bearing capacity under proposed bridge footing slabs will be almost 250,000 pounds, which will substantially exceed any possible combination of dead load (e.g. structures and road surfacing) and live load (e.g. vehicles and snow).

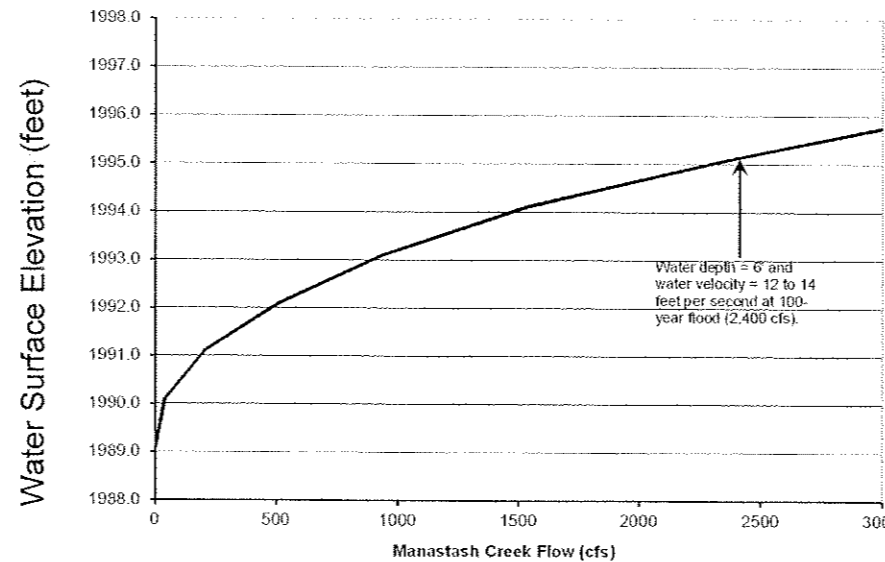
### Hydrology and Hydraulic Design

The 100-year flood flow for Manastash Creek at the project site was estimated to be 2,600 cubic feet per second (cfs) using the USGS' most recent method for calculation of flood flows for ungaged streams and rivers in Washington (Mastin et al. 2017). It was assumed that 200 cfs would overtop from the mainstem creek upstream of the KRD canal. A peak flow rate = 2,400 cfs was used for bridge design.

A flow rating curve was developed to show the relationship between Manastash Creek flow and water surface elevation at the proposed bridge site (see below). Hydraulic conditions during a 100-year flood are estimated to be:



- Water depth 6' at the bridge location, with "standing waves" at least 1' high.
- Water velocity averaging 12 to 14 feet per second with high turbulence and whitewater.
- Substantial transport of large wood and bedload, turbid water conditions.



Rating curve for Manastash Creek at proposed 60'-span bridge for Williams property.

### Bridge Structure

Superstructure to be a pre-fabricated modular weathering steel bridge 60'-span x 16'-wide deck for single-lane travel. Reinforced pre-cast concrete (WSDOT Class 4000) footings and backwalls to support each end of bridge. All bridge design to support HL-93 live load with deflection < L/300. HL-93 is a nominal (conceptual) 57-ton truck about 56'-long. The bridge structure will easily support fire apparatus as specified in KCC 20.02.050, for which the live load requirement is 75,000 pounds (37½ tons).

### Structure Protection from Hydraulic Forces

Tractive force calculations and hydraulic conditions during the estimated 100-year flood were combined with the engineer's experience with design of stable stream channels, to select armor rocks 36" to 48"-size to wrap around concrete footings. Rock slopes will extend from above footing slabs to about 2' below the creek's lowest channel elevation (thalweg) to minimize the chances for footing scour and/or undermining.

### Channel Characteristics, Open Area for Floods, etc.

Stream simulation design considerations (for culverts) were adapted to the proposed bridge location. Measured Ordinary High Water (analogous to Channel Bed Width or Bankfull Width) was 42', which would suggest a drainage structure with span at least 52'-wide for stream simulation (per WDFW method). The selected 60'-span bridge will allow all construction work to be completed outside the existing low-flow channel, which will remain undisturbed.

The 100-year flood flow was routed under the proposed bridge using Manning's equation, and the bridge was designed for 3' freeboard (minimum) between the bottom of bridge beams and the flood water level. Total open area under the bridge will be 2.8 times an existing KRD bridge immediately upstream. The proposed bridge will have essentially zero effects on the 100-year flood flow, transport of large wood, bedload passage, fish passage, and other aquatic resource considerations.

### Bridge Site Preparation and Water Control

Clearing within the wooded riparian area for bridge construction will be limited to an area about 5' outside the perimeter of excavation and fill for bridge and driveway construction. Four cottonwood trees 12" to 18"-trunk diameter will be placed over Manastash Creek downstream of the bridge, for in-stream large wood habitat similar to natural windthrow.

All excavation and fill work will be separated from flowing water. Trashpump(s) will be used to remove turbid water from excavated trenches (for rock slope placement), to prevent turbid water from splashing into Manastash Creek.

### Driveway Site Preparation

Total area within existing Manastash Creek floodplain to be cleared for driveway construction = 0.22-acre, with an additional 0.08-acre upland area cleared.

### Net Zero Change in Floodplain Water Storage

Bridge approach fill will decrease flood water storage an estimated 130 cubic yards. A 220'-long driveway section will be countersunk into the floodplain 1'-deep which will increase flood water storage by 130 cubic yards. There will be "net zero" change in floodplain water storage capacity by the proposed bridge and driveway project.

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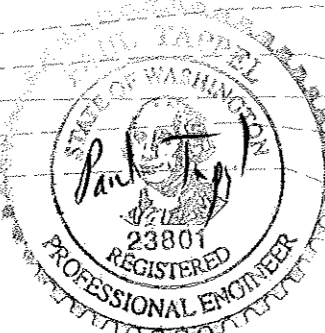
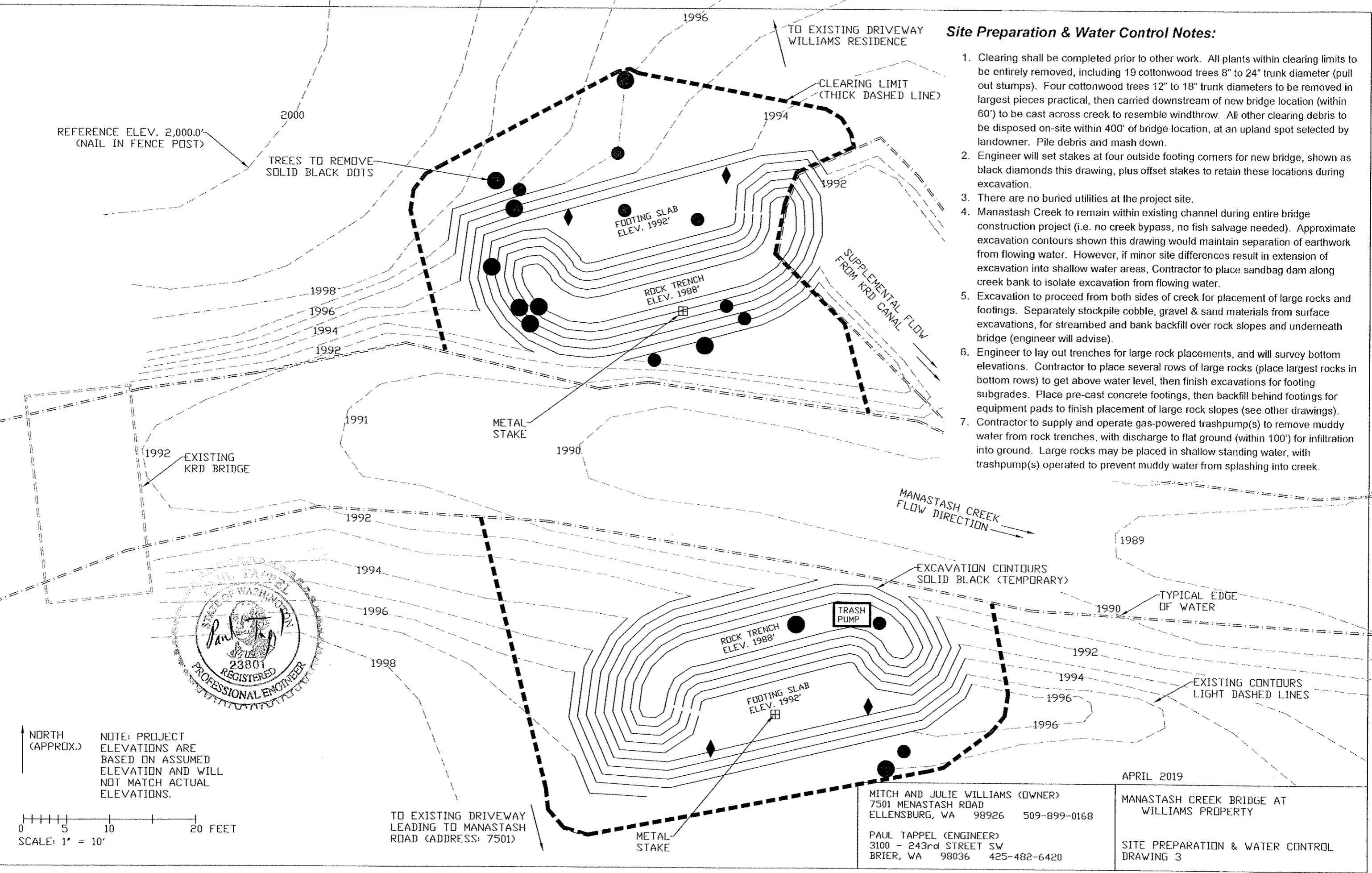
MANASTASH CREEK BRIDGE AT  
WILLIAMS PROPERTY

PAUL TAPPEL (ENGINEER)  
3100 - 243rd STREET SW  
BRIER, WA 98036 425-482-6420

BASIS OF DESIGN  
DRAWING 2

**Site Preparation & Water Control Notes:**

1. Clearing shall be completed prior to other work. All plants within clearing limits to be entirely removed, including 19 cottonwood trees 8" to 24" trunk diameter (pull out stumps). Four cottonwood trees 12" to 18" trunk diameters to be removed in largest pieces practical, then carried downstream of new bridge location (within 60') to be cast across creek to resemble windthrow. All other clearing debris to be disposed on-site within 400' of bridge location, at an upland spot selected by landowner. Pile debris and mash down.
2. Engineer will set stakes at four outside footing corners for new bridge, shown as black diamonds this drawing, plus offset stakes to retain these locations during excavation.
3. There are no buried utilities at the project site.
4. Manastash Creek to remain within existing channel during entire bridge construction project (i.e. no creek bypass, no fish salvage needed). Approximate excavation contours shown this drawing would maintain separation of earthwork from flowing water. However, if minor site differences result in extension of excavation into shallow water areas, Contractor to place sandbag dam along creek bank to isolate excavation from flowing water.
5. Excavation to proceed from both sides of creek for placement of large rocks and footings. Separately stockpile cobble, gravel & sand materials from surface excavations, for streambed and bank backfill over rock slopes and underneath bridge (engineer will advise).
6. Engineer to lay out trenches for large rock placements, and will survey bottom elevations. Contractor to place several rows of large rocks (place largest rocks in bottom rows) to get above water level, then finish excavations for footing subgrades. Place pre-cast concrete footings, then backfill behind footings for equipment pads to finish placement of large rock slopes (see other drawings).
7. Contractor to supply and operate gas-powered trashpump(s) to remove muddy water from rock trenches, with discharge to flat ground (within 100') for infiltration into ground. Large rocks may be placed in shallow standing water, with trashpump(s) operated to prevent muddy water from splashing into creek.



NOTE: PROJECT ELEVATIONS ARE BASED ON ASSUMED ELEVATION AND WILL NOT MATCH ACTUAL ELEVATIONS.

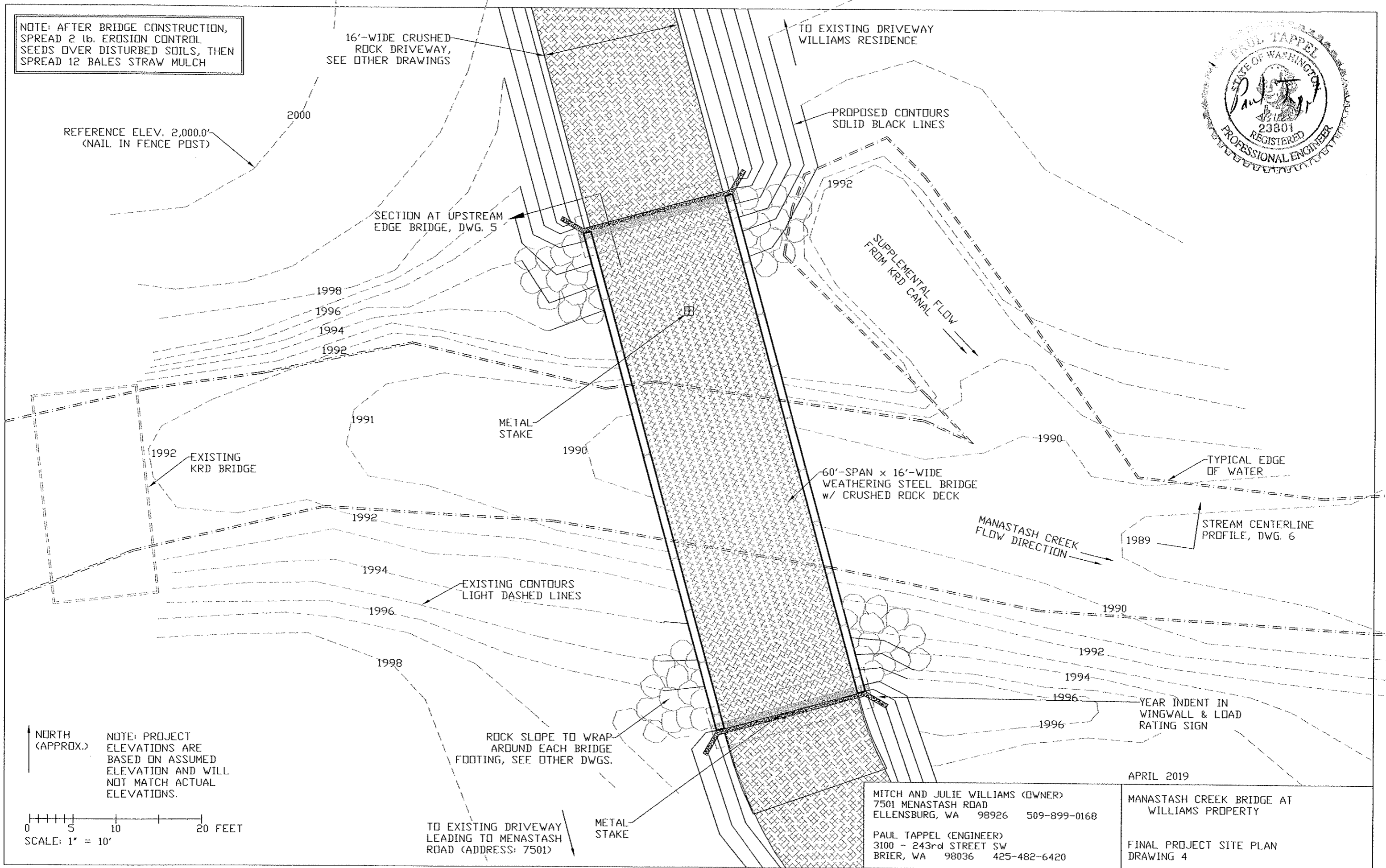
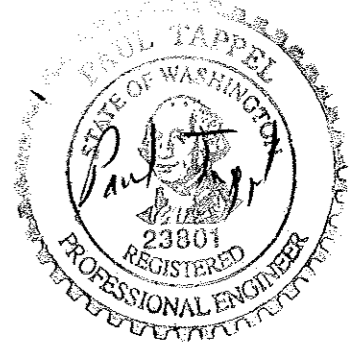
NORTH (APPROX.)  
 0 5 10 20 FEET  
 SCALE: 1" = 10'

TO EXISTING DRIVEWAY LEADING TO MANASTASH ROAD (ADDRESS: 7501)

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APRIL 2019  
 MANASTASH CREEK BRIDGE AT WILLIAMS PROPERTY  
 SITE PREPARATION & WATER CONTROL DRAWING 3

NOTE: AFTER BRIDGE CONSTRUCTION, SPREAD 2 lb. EROSION CONTROL SEEDS OVER DISTURBED SOILS, THEN SPREAD 12 BALES STRAW MULCH



REFERENCE ELEV. 2,000.0'  
(NAIL IN FENCE POST)

16'-WIDE CRUSHED  
ROCK DRIVEWAY,  
SEE OTHER DRAWINGS

TO EXISTING DRIVEWAY  
WILLIAMS RESIDENCE

PROPOSED CONTOURS  
SOLID BLACK LINES

SECTION AT UPSTREAM  
EDGE BRIDGE, DWG. 5

SUPPLEMENTAL FLOW  
FROM KRD CANAL

EXISTING  
KRD BRIDGE

60'-SPAN x 16'-WIDE  
WEATHERING STEEL BRIDGE  
w/ CRUSHED ROCK DECK

TYPICAL EDGE  
OF WATER

STREAM CENTERLINE  
PROFILE, DWG. 6

MANASTASH CREEK  
FLOW DIRECTION

EXISTING CONTOURS  
LIGHT DASHED LINES

YEAR INDENT IN  
WINGWALL & LOAD  
RATING SIGN

ROCK SLOPE TO WRAP  
AROUND EACH BRIDGE  
FOOTING, SEE OTHER DWGS.

TO EXISTING DRIVEWAY  
LEADING TO MENASTASH  
ROAD (ADDRESS: 7501)

METAL  
STAKE

NORTH  
(APPROX.)  
NOTE: PROJECT  
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ELEVATIONS.

0 5 10 20 FEET  
SCALE: 1" = 10'

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MANASTASH CREEK BRIDGE AT  
WILLIAMS PROPERTY

FINAL PROJECT SITE PLAN  
DRAWING 4

**Streambank Notes:**

1. For excavation of rock trenches and footing subgrades, remove surface layers cobble, gravel & sand to stockpile separately (engineer to advise). These relatively coarse (vs. silty) native materials will be used to fill over rock slopes, and to re-build Manastash Creek banks after footing placement.
2. Native cobble, gravel & sand materials to be spread over rock slopes, and around bridge footings as shown this drawing. Final streambank contours will be approximately the same as original bank contours in near vicinity to and under the new bridge.
3. Native cobble, gravel, & sand materials to be placed under and around bridge shall not be sorted. The natural assemblage of coarse particle sizes shall be spread over large rocks and along the bank, then roughly raked with excavator teeth for final streambanks.

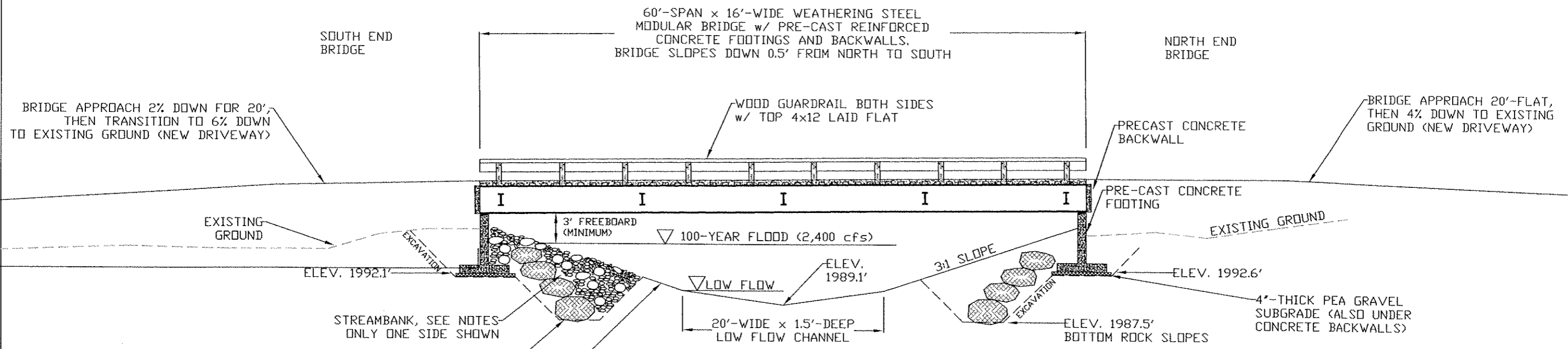


**Bridge Elevation & Open Area Notes:**

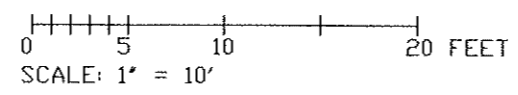
1. New bridge deck will be 1.5' to 2.0' higher than the existing KR D wood bridge's deck about 70' upstream. The higher deck elevation will provide 3' freeboard (minimum) over the estimated 100-year flood (2,400 cfs).
2. Open area under the new bridge for flood flow conveyance, wood and bedload transport, fish passage, and all fluvial processes will be 342 ft<sup>2</sup>. Open area under the existing KR D wood bridge = 123 ft<sup>2</sup>. The proposed bridge will have open area 2.8 times as large as the existing KR D bridge (which withstood the May 2011 flood), resulting in no obstruction to the 100-year flood, large wood transport, bedload passage, etc. for Manastash Creek.

**Rock Slope Notes:**

1. Engineer will assist with layout for rock slope trenches and rock placement.
2. Rocks to be 36" to 48"-size, with largest rocks placed in bottom rows.
3. Place rocks one at a time for single row, then backfill with native soils to top of rocks, tamp backfill, then place next row rocks. Top of rocks shall be at slope 1.5:1 approximately.
4. Bottom rows rocks may be placed in shallow standing water in trench. Pump water as required to prevent overflow into creek channel.
5. Top of rock slopes shall be at least 12" above top of pre-cast concrete footing slabs.



SECTION AT UPSTREAM EDGE BRIDGE



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EXISTING STREAM CHANNEL BETWEEN ROCK TRENCHES REMAINS AS-IS

STREAMBANK, SEE NOTES - ONLY ONE SIDE SHOWN

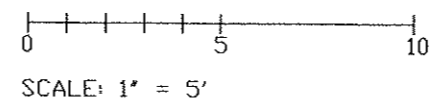
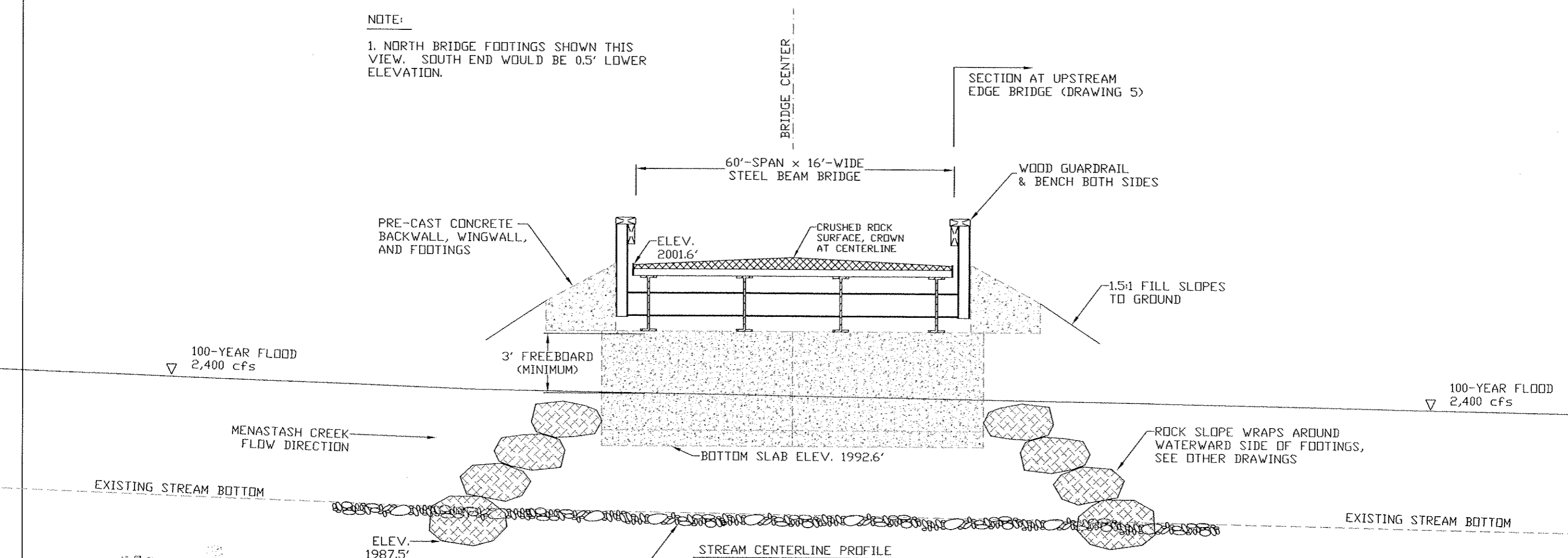
ROCK SLOPE, SEE NOTES

BRIDGE APPROACH 2% DOWN FOR 20', THEN TRANSITION TO 6% DOWN TO EXISTING GROUND (NEW DRIVEWAY)

BRIDGE APPROACH 20'-FLAT, THEN 4% DOWN TO EXISTING GROUND (NEW DRIVEWAY)

**NOTE:**

1. NORTH BRIDGE FOOTINGS SHOWN THIS VIEW. SOUTH END WOULD BE 0.5' LOWER ELEVATION.



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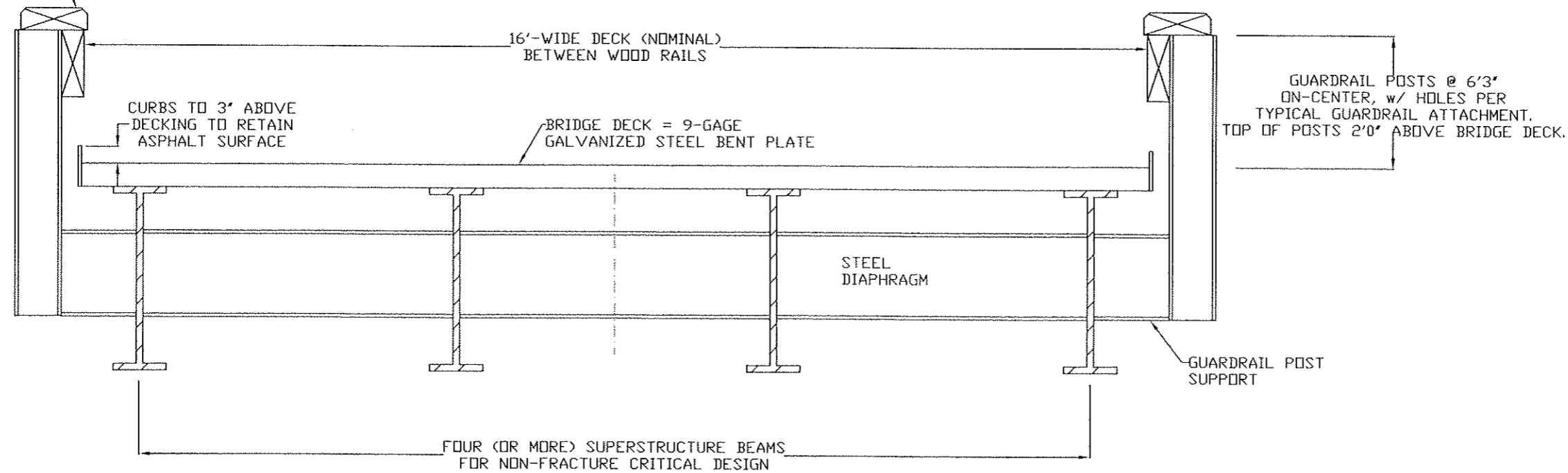
STEEL BRIDGE REQUIREMENTS:

1. 60'-SPAN (BEAM END-TO-END) BY 16'-WIDE (DECK WIDTH) MODULAR WEATHERING STEEL BEAM BRIDGE TO BE PRE-FABRICATED AND SHIPPED TO THE PROJECT SITE (6 MILES SOUTHWEST OF ELLENSBURG, WASHINGTON, ACCESSIBLE BY ROAD).
2. ALL ON-SITE WORK INCLUDING LIFTING THE BRIDGE OFF TRANSPORT TRUCK(S), PLACING BRIDGE ON BEARING PLATES, WELDING BEAMS TO PLATES, BOLT INSTALLATION ALONG BRIDGE CENTERLINE, AT BEARING PLATES, AND RAIL ASSEMBLY WILL BE ACCOMPLISHED BY ON-SITE CONTRACTOR.
3. WOOD RAIL MATERIALS (4x12's) AND RAIL HARDWARE TO BE SUPPLIED BY ON-SITE CONTRACTOR, AND ALL RAIL ASSEMBLY BY CONTRACTOR. METAL GUARDRAILS NOT NEEDED FROM BRIDGE SUPPLIER.
4. CONTRACT SPECIFICATION 6-03 INCLUDES DETAILED REQUIREMENTS FOR BRIDGE DESIGN AND SUPPLY. THIS DRAWING SUPPLEMENTS THIS SPECIFICATION.
5. BRIDGE SUPPLIER TO PROVIDE BRIDGE SUPERSTRUCTURE PRE-FABRICATED IN HALVES WITH DECK MATERIAL ATTACHED, BEARING PLATES, ELASTOMERIC (OR SIMILAR) BEARING PADS, RAIL POSTS, AND ALL ASSEMBLY HARDWARE (NUTS AND BOLTS).

LOADS AND DEFLECTION:

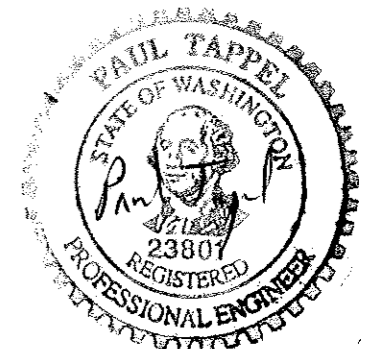
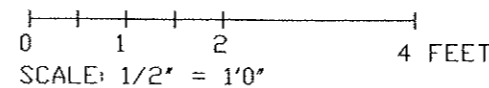
1. LIVE LOAD = HL-93 (114,000 POUNDS = 57 TONS OVER 55.5'-LONG VEHICLE AXLES).
2. INCLUDE ASPHALT DECK 3"-THICK AT CURBS (TO TOP OF CURBS) AND CROWNED 3" TO BRIDGE CENTERLINE FOR DEAD LOAD.
3. LIVE LOAD DEFLECTION <  $L/300$ .

WOOD RAILS & BENCHES, SEE DETAILS IN SPECIFICATION. TOP BENCH TO OVERHANG INSIDE EDGE RAIL BY 1/2".



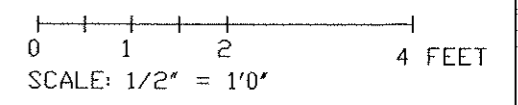
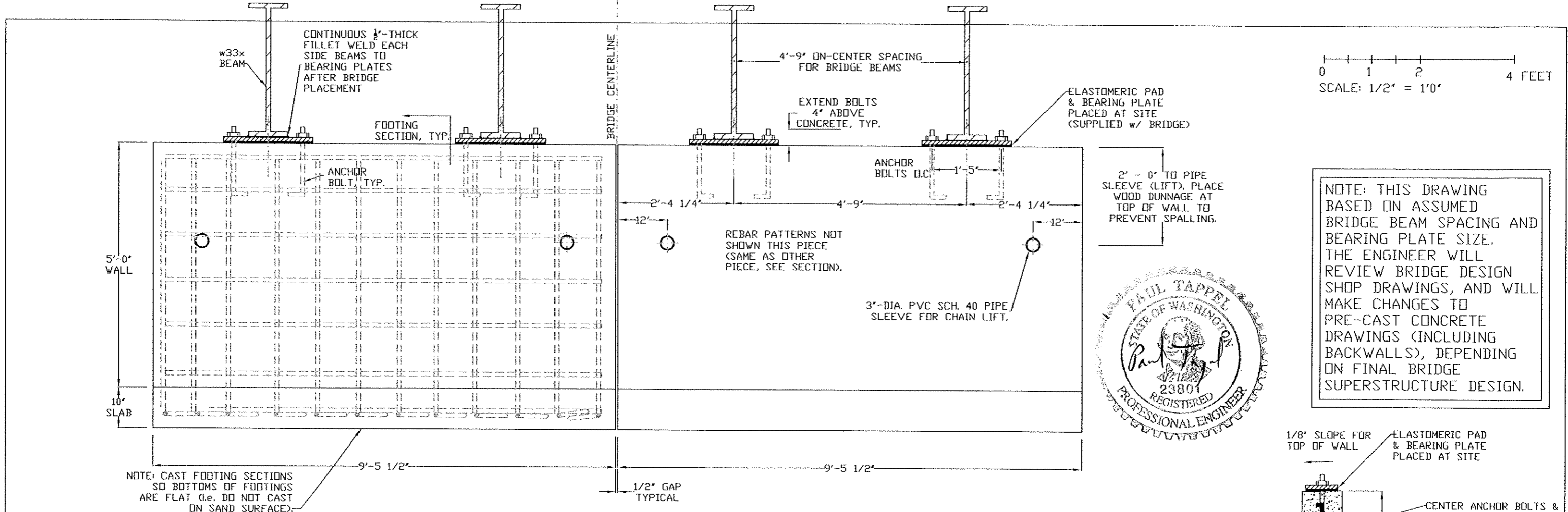
STEEL BRIDGE SCHEMATIC CROSS-SECTION

THIS CROSS-SECTION SHOWS FOUR W33x BEAMS @ 4'-9" ON-CENTER; THESE BRIDGE ELEMENTS MAY VARY WITH FINAL DESIGN.



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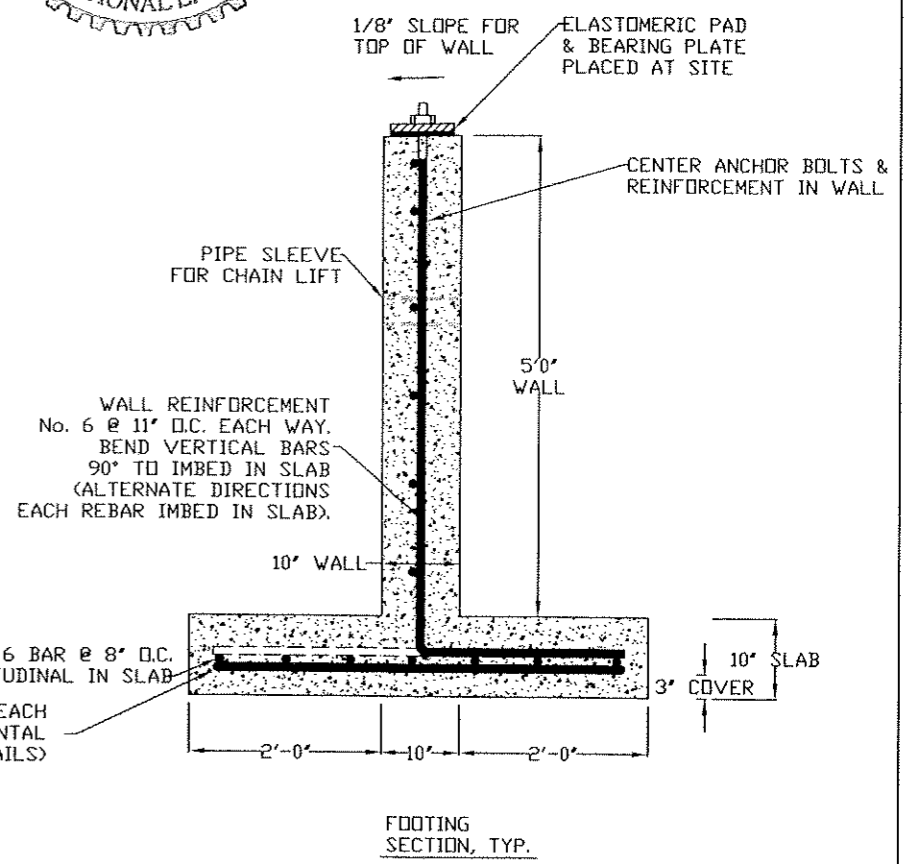
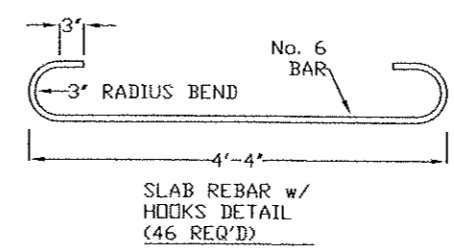
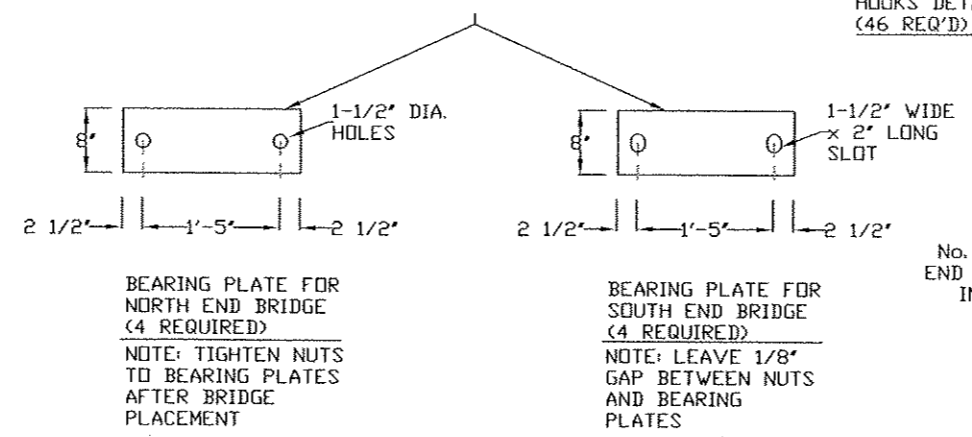
NOTE: THIS DRAWING BASED ON ASSUMED BRIDGE BEAM SPACING AND BEARING PLATE SIZE. THE ENGINEER WILL REVIEW BRIDGE DESIGN SHOP DRAWINGS, AND WILL MAKE CHANGES TO PRE-CAST CONCRETE DRAWINGS (INCLUDING BACKWALLS), DEPENDING ON FINAL BRIDGE SUPERSTRUCTURE DESIGN.



- PRE-CAST CONCRETE NOTES & SPECIFICATIONS:**
1. PRE-CAST CONCRETE SUPPLIER MAY DESIGN AND INSTALL ALTERNATE LIFT SYSTEM FOR FOOTING PIECES, INSTEAD OF 3'-DIA. HOLES THROUGH FOOTING WALLS. THESE POSSIBLE CHANGES SHALL BE COORDINATED WITH ENGINEER (APPROVAL REQUIRED), AND ALL LIFTING HARDWARE (e.g. CLUTCHES) SHALL BE LOANED TO GENERAL CONTRACTOR FOR THE ON-SITE WORK.
  2. CONCRETE - CLASS 4000, WSDOT SPEC. 6-02. REINFORCEMENT - GRADE 60 DEFORMED STEEL BARS, WSDOT SPEC. 9-07. THESE CONCRETE REQUIREMENTS APPLY TO FOOTINGS AND BACKWALLS.
  3. ANCHOR BOLTS - 1.25'-DIA. x 16'-LONG APPROX. PLUS 4'-LONG 'L', THREAD LENGTH 4', IMBED 12' IN CONCRETE, 4'-LENGTH THREADS (+/-) EXPOSED, SUPPLY NUT AND FLAT WASHER EACH BOLT, HOT-DIP GALVANIZE ALL HARDWARE AFTER FABRICATION (16 REQ'D).
  4. PRE-CAST CONCRETE SUPPLIER TO SUPPLY FOUR PRE-CAST CONCRETE FOOTING PIECES ON-SITE w/ ANCHOR BOLTS & HARDWARE. BRIDGE SUPPLIER TO SUPPLY BEARING PLATES AND ELASTOMERIC PADS. PRE-CAST CONCRETE SUPPLIER ALSO TO SUPPLY FOUR BACKWALL PIECES ON-SITE.
  5. ON-SITE GENERAL CONTRACTOR TO LIFT PRE-CAST FOOTING PIECES OFF TRUCK AND PLACE ON PEA GRAVEL SUBGRADE. FIELD WELD STEEL BEAMS TO EACH BEARING PLATE. PRE-CAST CONCRETE BACKWALLS REST ON TOP OF PEA GRAVEL BEDDING.
  6. FOOTING PIECES = 11,800 L.B. EACH (APPROX.).

**FOOTING FRONT VIEW**

NOTE: FOUR PRE-CAST CONCRETE FOOTING PIECES REQUIRED (TWO SHOWN THIS VIEW).



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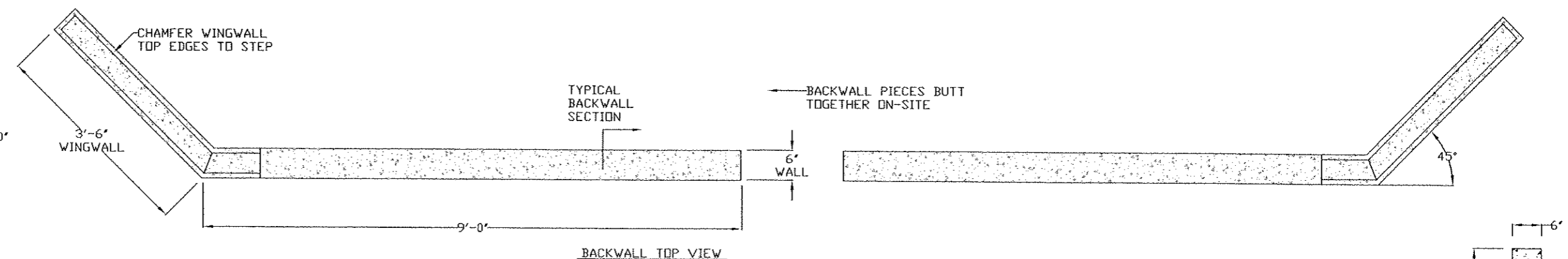
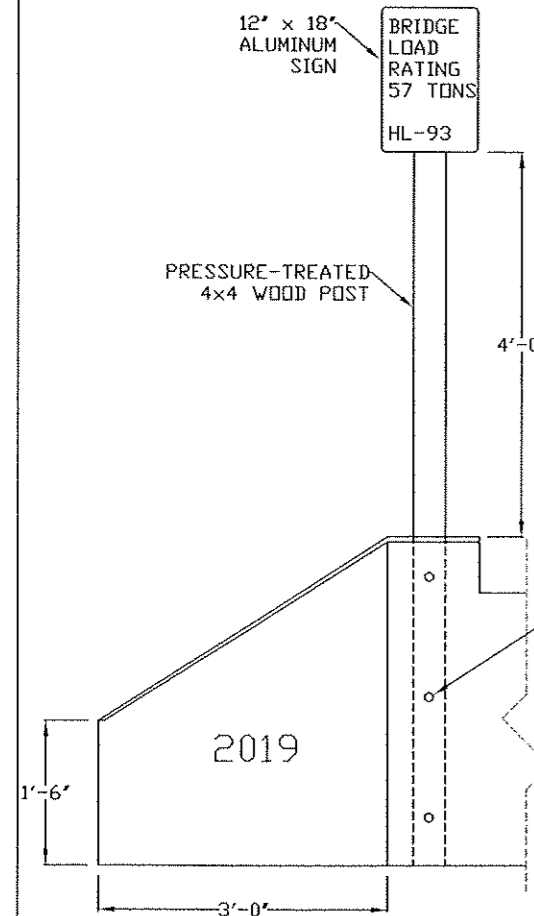
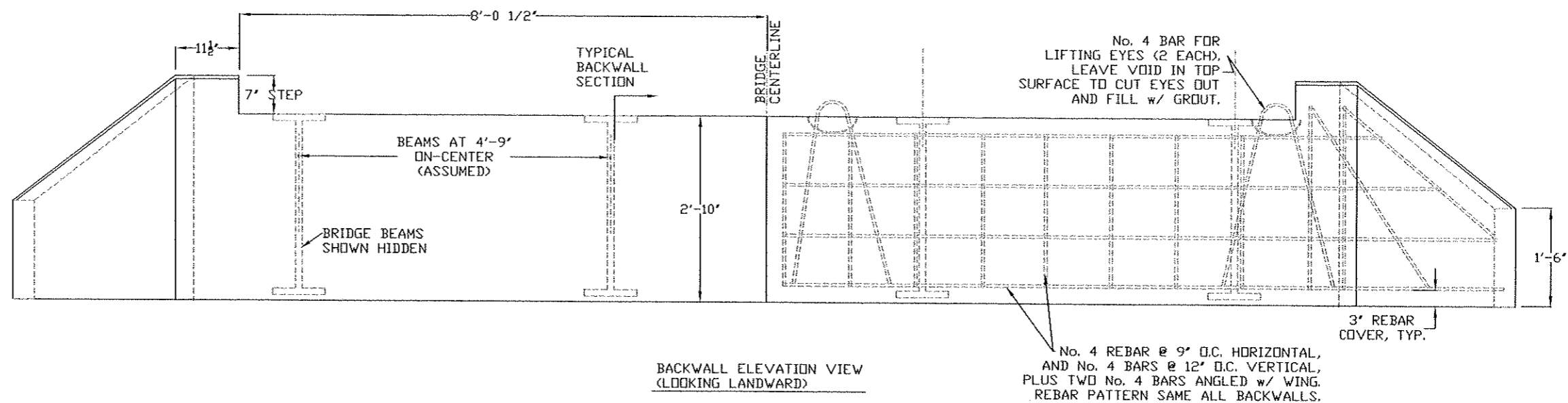
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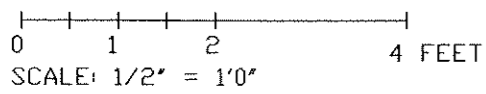
MANASTASH CREEK BRIDGE AT  
 WILLIAMS PROPERTY

PRE-CAST CONCRETE FOOTINGS  
 DRAWING 8

NOTE: LOAD RATING SIGN WOULD FACE OPPOSITE DIRECTION FROM DATE (TOWARDS VEHICLE INGRESS)



- PRE-CAST CONCRETE BACKWALL NOTES:
1. TWO PAIRS REQ'D AS SHOWN.
  2. CHAMFER TOP AND END EDGES 1\"/>



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DRIVEWAY PROFILE  
(DRAWING 11)

90'-LONG NEW DRIVEWAY  
ALL ABOVE 100-YEAR  
FLOOD ELEV. (1995.2')

EXISTING ROAD (DRIVEWAY)  
TO WILLIAMS RESIDENCE

TYPICAL EDGE FOR  
MANASTASH CREEK

NORTH  
(APPROX.)

NOTE: PROJECT  
ELEVATIONS ARE  
BASED ON ASSUMED  
ELEVATION AND WILL  
NOT MATCH ACTUAL  
ELEVATIONS.

0 50 100 FEET  
SCALE: 1" = 50'

MANASTASH CREEK  
FLOW DIRECTION

REFERENCE ELEVATION  
NAIL IN POST (ELEV. 2,000.0')

PROPOSED 60'-SPAN x 16'-WIDE  
WEATHERING STEEL BRIDGE,  
SEE OTHER DRAWINGS

EXISTING  
KRD BRIDGE

EXISTING  
KRD ROAD

130'-LONG NEW DRIVEWAY  
w/ FILL IN 100-YEAR  
FLOODPLAIN

BRIDGE APPROACH FILL  
MEETS EXISTING FLOODPLAIN  
ELEV. 1994.5' (+/-)

NEW DRIVEWAY (CROSS-HATCH) w/  
CRUSHED ROCK SURFACE 16'-WIDE

EXISTING  
KRD ROAD

220'-LONG NEW DRIVEWAY  
SLIGHTLY COUNTERSUNK INTO  
FLOODPLAIN FOR NET ZERO  
CHANGE IN FLOODPLAIN STORAGE

EXISTING CULVERT  
UNDER KRD ROAD  
(REFERENCE)



EXISTING HEADWORK IN  
KRD CANAL (REFERENCE)

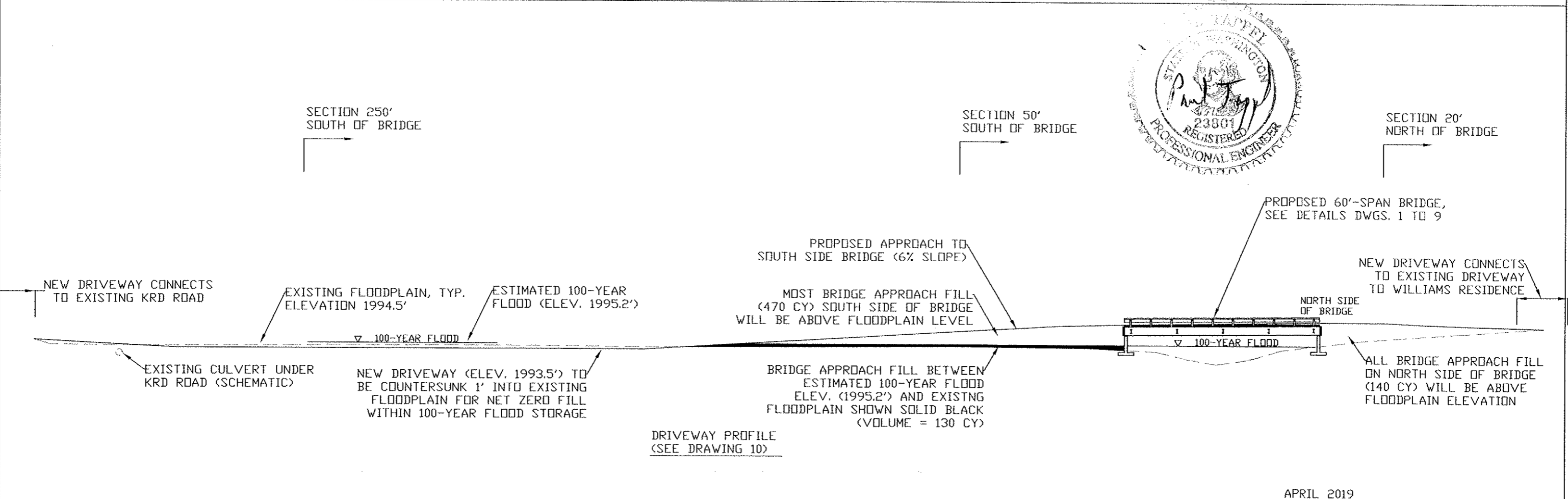
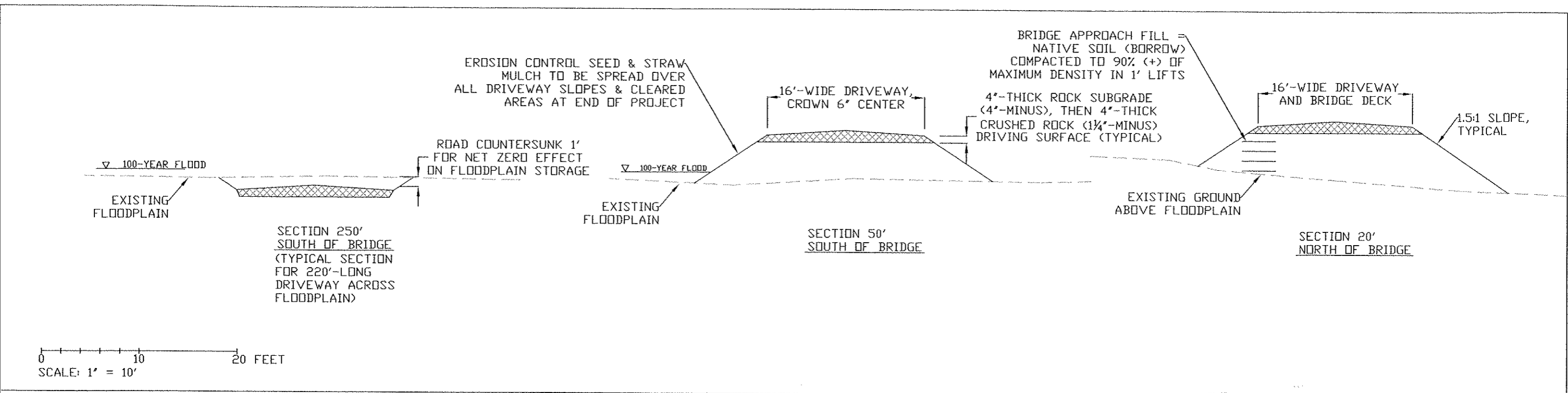
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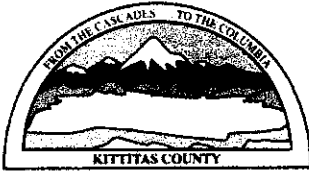
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DRIVEWAY AND BRIDGE SITE PLAN  
DRAWING 10



<p>MITCH AND JULIE WILLIAMS (OWNER) 7501 MENASTASH ROAD ELLENSBURG, WA 98926 509-899-0168</p> <p>PAUL TAPPEL (ENGINEER) 3100 - 243rd STREET SW BRIER, WA 98036 425-482-6420</p>	<p>APRIL 2019</p> <p>MANASTASH CREEK BRIDGE AT WILLIAMS PROPERTY</p> <p>DRIVEWAY PROFILE &amp; SECTIONS DRAWING 11</p>
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SE-15-00007



# KITITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITITAS.WA.US

Office (509) 962-7506

Fax (509) 962-7682

"Building Partnerships – Building Communities"

## SEPA ENVIRONMENTAL CHECKLIST

### **Purpose of checklist:**

Governmental agencies use this checklist to help determine whether the environmental impacts of your proposal are significant. This information is also helpful to determine if available avoidance, minimization or compensatory mitigation measures will address the probable significant impacts or if an environmental impact statement will be prepared to further analyze the proposal.

### **Instructions for applicants:**

This environmental checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully, to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions. You may use "not applicable" or "does not apply" only when you can explain why it does not apply and not when the answer is unknown. You may also attach or incorporate by reference additional studies reports. Complete and accurate answers to these questions often avoid delays with the SEPA process as well as later in the decision-making process.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

### **Instructions for Lead Agencies:**

Please adjust the format of this template as needed. Additional information may be necessary to evaluate the existing environment, all interrelated aspects of the proposal and an analysis of adverse impacts. The checklist is considered the first but not necessarily the only source of information needed to make an adequate threshold determination. Once a threshold determination is made, the lead agency is responsible for the completeness and accuracy of the checklist and other supporting documents.

### **Use of checklist for nonproject proposals:** [\[help\]](#)

For nonproject proposals (such as ordinances, regulations, plans and programs), complete the applicable parts of sections A and B plus the SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS (part D). Please completely answer all questions that apply and note that the words "project," "applicant," and "property or site" should be read as "proposal," "proponent," and "affected geographic area," respectively. The lead agency may exclude (for non-projects) questions in Part B - Environmental Elements –that do not contribute meaningfully to the analysis of the proposal.

### **APPLICATION FEES:**

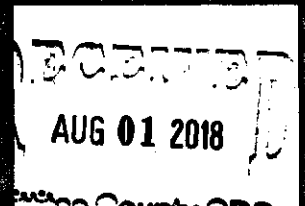
\$600.00 Kittitas County Community Development Services (KCCDS)

\$250.00 Kittitas County Department of Public Works

\$415.00 Kittitas County Public Health

**\$1,265.00 Total fees due for this application** (One check made payable to KCCDS)

### **FOR STAFF USE ONLY**



**A. Background** [help]

1. Name of proposed project, if applicable: [help]

WILLIAMS BRIDGE

2. Name of applicant: [help]

MITCH & JULIE WILLIAMS

3. Address and phone number of applicant and contact person: [help]

7501 MANASTASH ROAD, ELLENSBURG, WA  
MITCH - 509 899-0168

4. Date checklist prepared: [help]

AUG. 1, 2018

5. Agency requesting checklist: [help]

KITTITAS COUNTY COMMUNITY DEVELOPMENT

6. Proposed timing or schedule (including phasing, if applicable): [help]

FALL 2018

7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain. [help]

NO

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal. [help] PERMIT DOCUMENTS. HPA - DEPT. OF FISH & WILDLIFE  
KCCO PRELIMINARY SITE ANALYSIS - PSA - 18-00355 JULY 16, 2018  
KCCPW FLOODPLAIN DEVELOPMENT PERMIT - FILED JULY 30, 2018  
KCCO GENERAL APPLICATION FOR CONST. ALL ENGINEERED INFO. INCLUDED

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. [help]

NO

10. List any government approvals or permits that will be needed for your proposal, if known. [help]

SEE ANSWER #8

11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.) [help]

NEW BRIDGE OVER MANASTASH CREEK 14 X 60 = 840 SQ.FT.

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist. [help]

7501 MANASTASH ROAD SEE PSA - 18-00355 FOR DETAILS

**B. ENVIRONMENTAL ELEMENTS** [help]

**1. Earth** [help]

a. General description of the site: [help]

(circle one): Flat, rolling, hilly, steep slopes, mountainous, other \_\_\_\_\_

b. What is the steepest slope on the site (approximate percent slope)? [help]

CREEK BANK 4' ± TO LOW WATER LEVEL

c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils. [help] ROCK

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe. [help] NO

e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill. [help]

BRIDGE BACKWALL - WING WALL - FOOTING EXCAVATION - ALL WORK OUTSIDE THE LOW FLOW CHANNEL. ~~BRIDGE~~ APPROACH AREAS UNDER 10,000 SQ.FT. - 840 SQ.FT. BRIDGE 350 CU. YDS.

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe. [help] NO

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)? [help]

BRIDGE DECK 840 SQ. FT.

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any: [help]

SEE DESIGN

**2. Air** [help]

a. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known. [help]

CONSTRUCTION EQUIPMENT

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe. [help] NO

c. Proposed measures to reduce or control emissions or other impacts to air, if any: [help]

NONE

3. **Water** [\[help\]](#)

a. **Surface Water:**

- 1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into. [\[help\]](#)

YES - MANASTASH CREEK - DRAINS INTO THE YAKIMA RIVER

- 2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans. [\[help\]](#)

YES - SEE PSA-18-00355

- 3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material. [\[help\]](#)

NONE SEE DESIGN

- 4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known. [\[help\]](#)

NO

- 5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan. [\[help\]](#)

YES

- 6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge. [\[help\]](#)

NO

b. **Ground Water:**

- 1) Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known. [\[help\]](#)

NO

- 2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals. . . ; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve. [\[help\]](#)

NO

c. **Water runoff (including stormwater):**

NO

1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe. [\[help\]](#)

NONE

2) Could waste materials enter ground or surface waters? If so, generally describe. [\[help\]](#)

NO

3) Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe. [\[help\]](#)

SEE BRIDGE DESIGN

d. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts, if any: [\[help\]](#)

NO

#### 4. Plants [\[help\]](#)

a. Check the types of vegetation found on the site: [\[help\]](#)

- deciduous tree: alder, maple, aspen, other
- evergreen tree: fir, cedar, pine, other
- shrubs
- grass
- pasture
- crop or grain
- Orchards, vineyards or other permanent crops.
- wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other
- water plants: water lily, eelgrass, milfoil, other
- other types of vegetation

b. What kind and amount of vegetation will be removed or altered? [\[help\]](#)

IMMEDIATE TREE & SHRUB REMOVAL FOR BRIDGE CONST.

c. List threatened and endangered species known to be on or near the site. [\[help\]](#)

STEELHEAD TROUT - RAPTOR MIGRATION

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any: [\[help\]](#)

NONE RECOMMENDED

e. List all noxious weeds and invasive species known to be on or near the site. [\[help\]](#)

UNKNOWN

#### 5. Animals [\[help\]](#)

- a. List any birds and other animals which have been observed on or near the site or are known to be on or near the site. [\[help\]](#)

Examples include:

birds: hawk, heron, eagle, songbirds, other:  
mammals: deer, bear, elk, beaver, other:  
fish: bass, salmon, trout, herring, shellfish, other STEELHEAD

- b. List any threatened and endangered species known to be on or near the site. [\[help\]](#)

EAGLE - STEELHEAD TROUT

- c. Is the site part of a migration route? If so, explain. [\[help\]](#)

LOCAL RIVER CORRIDOR MIGRATION

- d. Proposed measures to preserve or enhance wildlife, if any: [\[help\]](#)

RECOMMENDED HPA TO PLACE REMOVED LOGS FROM TREES IN STREAM

- e. List any invasive animal species known to be on or near the site. [\[help\]](#)

UNKNOWN

## 6. Energy and Natural Resources [\[help\]](#)

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc. [\[help\]](#)

NONE

- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe. [\[help\]](#)

NO

- c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any: [\[help\]](#)

NONE

## 7. Environmental Health [\[help\]](#)

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe. [\[help\]](#)

NO

- 1) Describe any known or possible contamination at the site from present or past uses. [\[help\]](#)

NONE

- 2) Describe existing hazardous chemicals/conditions that might affect project development and

NONE



design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity. [\[help\]](#)

NONE

- 3) Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project. [\[help\]](#)

NONE

- 4) Describe special emergency services that might be required. [\[help\]](#)

NONE

- 5) Proposed measures to reduce or control environmental health hazards, if any: [\[help\]](#)

NONE

b. Noise [\[help\]](#)

- 1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)? [\[help\]](#)

NONE

- 2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site. [\[help\]](#)

CONSTRUCTION EQUIPMENT DELIVERIES

- 3) Proposed measures to reduce or control noise impacts, if any: [\[help\]](#)

NONE

8. Land and Shoreline Use [\[help\]](#)

- a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe. [\[help\]](#)

A9-20 ZONED - PASTURE LAND - WOODED LANDS  
NO - PROPOSAL RESIST IN CONTINUED ACCESS

- b. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use? [\[help\]](#)

NONE -

- 1) Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how: [\[help\]](#)

NO

- c. Describe any structures on the site. [\[help\]](#)

NONE IN THE IMMEDIATE VICINITY  
RESIDENTIAL ACCESS & RESIDENTIAL STRUCTURES  
& AGRICULTURAL STRUCTURES WITHIN THE PARCEL

d. Will any structures be demolished? If so, what? [\[help\]](#)

NO

e. What is the current zoning classification of the site? [\[help\]](#)

AG-20

f. What is the current comprehensive plan designation of the site? [\[help\]](#)

RURAL-AG

g. If applicable, what is the current shoreline master program designation of the site? [\[help\]](#)

RURAL CONSERVANCY

h. Has any part of the site been classified as a critical area by the city or county? If so, specify. [\[help\]](#)

CREEK SHORELINE

i. Approximately how many people would reside or work in the completed project? [\[help\]](#)

NONE

j. Approximately how many people would the completed project displace? [\[help\]](#)

NONE

k. Proposed measures to avoid or reduce displacement impacts, if any: [\[help\]](#)

NONE

l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any: [\[help\]](#)

SEE APPLICATION PSA-18-0035

m. Proposed measures to reduce or control impacts to agricultural and forest lands of long-term commercial significance, if any: [\[help\]](#)

NONE

## 9. Housing [\[help\]](#)

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing. [\[help\]](#)

NONE

b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing. [\[help\]](#)

NONE

c. Proposed measures to reduce or control housing impacts, if any: [\[help\]](#)

NONE

10. **Aesthetics** [\[help\]](#)

a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed? [\[help\]](#)

SEE BRIDGE DESIGN

b. What views in the immediate vicinity would be altered or obstructed? [\[help\]](#)

NONE

c. Proposed measures to reduce or control aesthetic impacts, if any: [\[help\]](#)

NONE

11. **Light and Glare** [\[help\]](#)

a. What type of light or glare will the proposal produce? What time of day would it mainly occur? [\[help\]](#)

NONE

b. Could light or glare from the finished project be a safety hazard or interfere with views? [\[help\]](#)

NO

c. What existing off-site sources of light or glare may affect your proposal? [\[help\]](#)

NONE

d. Proposed measures to reduce or control light and glare impacts, if any: [\[help\]](#)

NONE

12. **Recreation** [\[help\]](#)

a. What designated and informal recreational opportunities are in the immediate vicinity? [\[help\]](#)

NONE

b. Would the proposed project displace any existing recreational uses? If so, describe. [\[help\]](#)

NO

c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any: [\[help\]](#)

NONE

13. **Historic and cultural preservation** [help]

a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers? If so, specifically describe. [help]

NO

b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources. [help]

UNKNOWN - NO VISUAL EVIDENCE

c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc. [help]

NONE

d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required. [help]

NONE

14. **Transportation** [help]

a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any. [help]

MANASTASH ROAD - THEN PRIVATE DRIVE FOR RESIDENCE AND FARM ACCESS

b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop? [help]

NO

c. How many additional parking spaces would the completed project or non-project proposal have? How many would the project or proposal eliminate? [help]

NONE

d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private). [help]

NO

e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe. [help]

YES BRIDGE OVER MANASTASH CREEK

f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and nonpassenger vehicles). What data or transportation models were used to make these estimates? [help]

ONE PRIVATE RESIDENCE ONLY

g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe. [help]

NO

h. Proposed measures to reduce or control transportation impacts, if any: [help]

NONE

**15. Public Services** [help]

a. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe. [help]

NO

b. Proposed measures to reduce or control direct impacts on public services, if any. [help]

NONE

**16. Utilities** [help]

a. Circle utilities currently available at the site: [help]

electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other \_\_\_\_\_

N/A

b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed. [help]

NONE

**C. Signature** [help]

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature: \_\_\_\_\_

*Mitch Williams*

Name of signee \_\_\_\_\_

MITCH WILLIAMS

Position and Agency/Organization \_\_\_\_\_

OWNER

Date Submitted: \_\_\_\_\_

AUG. 1, 2018

**D. supplemental sheet for nonproject actions** [help]

(IT IS NOT NECESSARY to use this sheet for project actions)

Because these questions are very general, it may be helpful to read them in conjunction with the list of the elements of the environment.

When answering these questions, be aware of the extent the proposal, or the types of activities likely to result from the proposal, would affect the item at a greater intensity or at a faster rate than if the proposal were not implemented. Respond briefly and in general terms.

1. How would the proposal be likely to increase discharge to water; emissions to air; production, storage, or release of toxic or hazardous substances; or production of noise?

NO INCREASES RESULT FROM THIS PROJECT

Proposed measures to avoid or reduce such increases are:

2. How would the proposal be likely to affect plants, animals, fish, or marine life?

IMMEDIATE CLEARING OF VEGETATION REQUIRED FOR CONST.

Proposed measures to protect or conserve plants, animals, fish, or marine life are:

RECOMMENDED AS PART OF STANDARD HPA TO PLACE WOODY DEBRIS FROM REMOVED TREES INSTREAM

3. How would the proposal be likely to deplete energy or natural resources?

NONE

Proposed measures to protect or conserve energy and natural resources are:

4. How would the proposal be likely to use or affect environmentally sensitive areas or areas designated (or eligible or under study) for governmental protection; such as parks, wilderness, wild and scenic rivers, threatened or endangered species habitat, historic or cultural sites, wetlands, floodplains, or prime farmlands?

SEE DESIGN PSA-18-00355

Proposed measures to protect such resources or to avoid or reduce impacts are:

SEE DESIGN

5. How would the proposal be likely to affect land and shoreline use, including whether it would allow or encourage land or shoreline uses incompatible with existing plans?

WILL PROVIDE ACCESS TO CONNECTING LANDS CURRENTLY USED FOR AGRICULTURAL ACTIVITIES AND RESIDENTIAL ACCESS

Proposed measures to avoid or reduce shoreline and land use impacts are:

SEE DESIGN

6. How would the proposal be likely to increase demands on transportation or public services and utilities?

NONE

Proposed measures to reduce or respond to such demand(s) are:

NONE

7. Identify, if possible, whether the proposal may conflict with local, state, or federal laws or requirements for the protection of the environment.

NONE KNOWN TO EXIST



# KITTTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St. Suite 2 Ellensburg WA 98926  
cds@co.kittitas.wa.us  
Office 509-962-7506  
Fax 509-962-7682

Building Partnerships - Building Communities

August 8, 2018

Mitch & Julie Williams  
PO Box 1702  
Ellensburg, WA 98926

Subject: **Williams Shoreline Substantial Development Permit (SD-18-00001)**

Dear Applicant,

Your application requesting a shorelines substantial development permit on an Aquatic area within the Rural Conservancy Zone under the Kittitas County Shorelines Master Program, located in the NW ¼ of section 14, township 17 N, range 17 E, WM in Kittitas County; was received on July 30, 2018. Your application has been determined complete as of Thursday, August 8, 2018.

Continued processing of your application will include, but is not limited to, the following actions:

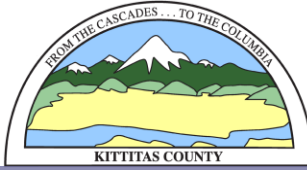
1. A Notice of Application will be published in the newspaper and sent to all adjoining property owners, governmental agencies, and interested persons.
2. Consideration of written comments from all adjoining property owners, governmental agencies, and interested persons.

If you have any questions regarding this matter, I can be reached at (509) 962-7637, or by email at [chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us).

Sincerely,

Chelsea Benner  
Planner I  
Kittitas County Community Development Services  
411 N Ruby Street, Suite 2 Ellensburg, WA 98926  
(p) 509-962-7506 (f) 509-962-7682  
[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)





## KITTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

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"Building Partnerships – Building Communities"

### NOTICE OF APPLICATION

**Notice of Application:** Friday, August 31, 2018  
**Application Received:** Monday, July 30, 2018  
**Application Complete:** Wednesday, August 8, 2018

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**Project File Number:** SD-18-00001

**Project Name:** Williams Shoreline Substantial Development Permit

**Applicant:** Mitch & Julie Williams

**Location:** 7501 Manastash Rd Ellensburg, located at NW ¼ of section 14, township 17 N, range 17 E, WM in Kittitas County

**Proposal:** Applicant is proposing to construct a new bridge to serve as the primary access for their existing residence. The proposed structure is approximately 840 square feet in size. Construction of the bridge will include enhancement of fish habitat in the associated creek area.

**Materials Available for Review:** The submitted application, SEPA checklist, and related filed documents may be examined by the public at the Kittitas County Community Development Services (CDS) office at 411 N. Ruby, Suite 2, Ellensburg, Washington, 98926, or on the CDS website at <https://www.co.kittitas.wa.us/cds/land-use/default.aspx> then navigate to "Shoreline Substantial Development Permits" & "SD-18-00001".

Phone: (509) 962-7506

**Written Comments** on this proposal can be submitted to CDS any time prior to 5:00 p.m. on **Monday, October 1, 2018**. All comments will be considered in the decision making process, and any person has the right to comment on this application and receive notification of the decision, once made. Per KCC 17B.070.080 any person aggrieved by the granting, denying, or rescinding of a permit on shorelines of the state may seek review from the shorelines hearings board by filing a petition for review within twenty-one (21) days of the date of filing of the decision, pursuant to RCW 90.58.180.(Ord. 2016-006, 2016)

**Environmental Review (SEPA):** The County expects to issue a Determination of Non-Significance (DNS) for this proposal, and will use the optional DNS process, meaning this may be the only opportunity for the public to comment on the environmental impacts of the proposal. Mitigation measures may be required under applicable codes, such as Title 17 Zoning, Title 16 Subdivisions, Title 17A, Title 17B, and the Fire Code, and the project review process may incorporate or require mitigation measures regardless of whether an EIS is prepared. A copy of the threshold determination may be obtained from the County.

**Required Permits:** Shoreline Substantial Development Permit, HPA, Building Permit

**The following development regulations will be used for project mitigation and consistency:** Shoreline Master Program, & Kittitas County Critical Areas Ordinance.

**Designated Permit Coordinator** Chelsea Benner, Staff Planner: (509)-962-7637; email at [Chelsea.benner@co.kittitas.wa.us](mailto:Chelsea.benner@co.kittitas.wa.us)

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Notice: Email sent to Kittitas County may be subject to public disclosure as required by law.  
message id: 38eb45916c6dcbdac24bb8719d004a14

<SD-18-00001 Williams NOA legal.pdf>

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POCATELLO ID 83204  
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411 N. RUBY ST, SUITE 2  
ELLENSBURG WA 98926

Start: 08/31/2018 Stop: 09/14/2018  
Times Ord: 2 Times Run: \*\*\*  
STD6 2.00 X 8.27 Words: 418  
Total STD6 16.54  
Class: 0001 LEGAL NOTICES  
Rate: LEG2 Cost: 288.79  
# Affidavits: 1

Contact: STEPH MIFFLIN  
Phone: (509)962-7506  
Fax#:  
Email: jeff.watson@co.kittitas.wa.u  
Agency:

Ad Descrpt: N/APP SD1800001 WILLIAMS  
Given by: CHELSEA BENNER/LINDSEY OZBOLT  
P.O. #: SD1800001/BENNER/OZB  
Created: mwo18 08/29/18 13:33  
Last Changed: mwo18 08/29/18 13:44

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PUB ZONE EDT TP RUN DATES  
DR A 97 S 08/31 09/14  
DRWN LEG2 97 S 08/31 09/14  
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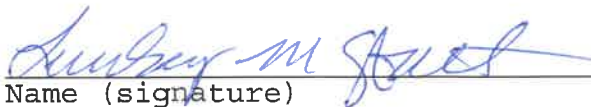
AUTHORIZATION

Under this agreement rates are subject to change with 30 days notice. In the event of a cancellation before schedule completion, I understand that the rate charged will be based upon the rate for the number of insertions used.

Quote from Daily Record/Kittitas County Publishing (509) 925-1414  
This ad will run as quoted unless cancellation is received. Please contact your sales rep 24 hours prior to first run date to cancel order.

Lindsey Ozbolt

Name (print or type)



Name (signature)

(CONTINUED ON NEXT PAGE)

DAILY RECORD/KITTITAS PUB  
C/O IDAHO STATE JOURNAL RECEIVABLES  
PO BOX 1570  
POCATELLO ID 83204  
(509) 925-1414  
Fax (509) 925-5696

ORDER CONFIRMATION (CONTINUED)

Salesperson: MEGAN WOODRUFF

Printed at 08/29/18 13:44 by mw018

-----  
Acct #: 84329

Ad #: 1807249

Status: New WHOLD WHOI

**NOTICE OF APPLICATION**

**Project Name (File Number):** Williams Shoreline Substantial Development Permit (SD-18-00001)

**Applicant:** Mitch & Julie Williams

**Location:** 7501 Manastash Rd Ellensburg, located at NW ¼ of section 14, township 17 N, range 17 E, WM in Kittitas County

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Phone: (509) 962-7506

**Written Comments** on this proposal can be submitted to CDS any time prior to 5:00 p.m. on **Monday, October 1, 2018**. All comments will be considered in the decision making process, and any person has the right to comment on this application and receive notification of the decision, once made. Per KCC 17B.070.080 any person aggrieved by the granting, denying, or rescinding of a permit on shorelines of the state may seek review from the shorelines hearings board by filing a petition for review within twenty-one (21) days of the date of filing of the decision, pursuant to RCW 90.58.180. (Ord. 2016-006, 2016)

**Environmental Review (SEPA):** The County expects to issue a Determination of Non-Significance (DNS) for this proposal, and will use the optional DNS process, meaning this may be the only opportunity for the public to comment on the environmental impacts of the proposal. Mitigation measures may be required under applicable codes, such as Title 17 Zoning, Title 16 Subdivisions, Title 17A, Title 17B, and the Fire Code, and the project review process may incorporate or require mitigation measures regardless of whether an EIS is prepared. A copy of the threshold determination may be obtained from the County.

**Required Permits:** Shoreline Substantial Development Permit, HPA, Building Permit

**The following development regulations will be used for project mitigation and consistency:** Shoreline Master Program, & Kittitas County Critical Areas Ordinance

**Designated Permit Coordinator** Chelsea Benner, Staff Planner:  
(509)-962-7637; email at [Chelsea.benner@co.kittitas.wa.us](mailto:Chelsea.benner@co.kittitas.wa.us)

Notice of Application: Friday, August 31, 2018  
Application Received: Monday, July 30, 2018  
Application Complete: Wednesday, August 8, 2018

**PUBLISH:**

Daily Record: Friday, August 31, 2018 & Friday, September 14, 2018  
NKC Tribune: Thursday, September 6, 2018

## NOTICE OF APPLICATION

**Project Name (File Number):** Williams Shoreline Substantial Development Permit (SD-18-00001)

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Phone: (509) 962-7506

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**Designated Permit Coordinator** Chelsea Benner, Staff Planner: (509)-962-7637; email at [Chelsea.benner@co.kittitas.wa.us](mailto:Chelsea.benner@co.kittitas.wa.us)

Notice of Application:	Friday, August 31, 2018
Application Received:	Monday, July 30, 2018
Application Complete:	Wednesday, August 8, 2018

Publish Daily Record:	Friday, August 31, 2018 & Friday September 14, 2018
Publish NKC Tribune:	Thursday, September 6, 2018

## Chelsea Benner

---

**From:** Terry Hamberg <terry@nkctribune.com>  
**Sent:** Wednesday, August 29, 2018 3:19 PM  
**To:** Chelsea Benner  
**Cc:** Lindsey Ozbolt  
**Subject:** Re: Notice of Application

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

### CONFIRMATION RECEIPT:

Thank you for sharing your Notice with Upper Kittitas County citizens. We have received your email and your notice will be published as requested.

Sincerely,  
Terry Hamberg  
Publisher



Northern Kittitas County Tribune  
P.O. Box 308  
Cle Elum, WA 98922  
(509) 674-2511  
fax: (509) 674-5571  
[tribune@nkctribune.com](mailto:tribune@nkctribune.com)

On Aug 29, 2018, at 11:36 AM, Chelsea Benner <[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)> wrote:

Good Morning,  
Please publish the attached notice of application as requested. I am out of the office tomorrow so please send conformation information to Lindsey Ozbolt.  
Thank you!

*Chelsea Benner*

Planner I  
Kittitas County Community Development Services  
411 N Ruby Street, Suite 2 Ellensburg, WA 98926  
(p) 509-962-7506 (f) 509-962-7682  
[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)



**KITTTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES**

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTTITAS.WA.US

Office (509) 962-7506

Fax (509) 962-7682

“Building Partnerships – Building Communities”

**Affidavit of Mailing & Publication**

PROPOSAL NAME: Williams Shoreline Substantial Development Permit, File Number SD-18-00001

NOTIFICATION OF: Notice of Application and SEPA Review

NOTIFICATION MAIL DATE: 8/31/19

I certify that the following documentation:

- Notice of Notice of Application and SEPA Review: Williams Shoreline Substantial Development Permit, File Number SD-18-00001

has been mailed to the attached list of persons and participants, and that proper notification (as attached) has been published in the Legal Newspaper(s) of Record for Kittitas County.

Signature

Chelsea Benner  
Planner I  
County of Kittitas  
State of Washington

Subscribed and sworn to before me this 31<sup>th</sup> day of August, 2018

Kathy Boots  
Notary Public for the State of Washington residing  
in Ellensburg.

My appointment expires: 10-13-2020





## KITTTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTTITAS.WA.US

Office (509) 962-7506

Fax (509) 962-7682

"Building Partnerships – Building Communities"

### NOTICE OF APPLICATION

**Notice of Application:** Friday, August 31, 2018  
**Application Received:** Monday, July 30, 2018  
**Application Complete:** Wednesday, August 8, 2018

---

**Project File Number:** SD-18-00001

**Project Name:** Williams Shoreline Substantial Development Permit

**Applicant:** Mitch & Julie Williams

**Location:** 7501 Manastash Rd Ellensburg, located at NW ¼ of section 14, township 17 N, range 17 E, WM in Kittitas County

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Phone: (509) 962-7506

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**Designated Permit Coordinator** Chelsea Benner, Staff Planner: (509)-962-7637; email at [Chelsea.benner@co.kittitas.wa.us](mailto:Chelsea.benner@co.kittitas.wa.us)



10685 WILLIAMS MITCHELL F ETUX	null
815033 BOYS SMITH JOHN & ALICIA	701 5TH AVE STE 4200
775033 DAY RONALD W ETUX	null
905133 WRIGLEY DONALD J	null
805033 SCHNEIDER C I	null
16334 EHRMAN FREDERICK N & DIANA L	null
165133 CRADDOCK JAMES A ETUX	null
175133 SUTTON GINGER L	null
745033 ALLAN ERNEST W & MARGARET L	null
785033 GRASHER ISAAC	null

## Chelsea Benner

---

**From:** Chelsea Benner  
**Sent:** Friday, August 31, 2018 11:17 AM  
**To:** Julie Kjorsvik; Tristen Lamb; Holly Erdman; Patti Johnson; Lisa Lawrence; Taylor Gustafson; Candie Leader; 'enviroreview@yakama.com'; 'johnson@yakama.com'; 'John Marvin'; 'jessica@yakama.com'; 'migi461@ECY.WA.GOV'; 'lowh461@ECY.WA.GOV'; 'Gwen Clear'; 'Jen Nelson'; 'Scott.Downes@dfw.wa.gov'; 'sepa@dahp.wa.gov'; 'nelmsk@cwu.edu'; 'jorgenja@cwu.edu'; 'ben.serr@doh.wa.gov'; 'russell.mau@doh.wa.gov'; 'becky.kennedy@dnr.wa.gov'; 'cindy.preston@dnr.wa.gov'; 'rivers@dnr.wa.gov'; 'Deborah.j.knaub@usace.army.mil'; 'chelberg@usbr.gov'; 'Michael.j.daniels3.civ@mail.mil'; 'Kimberly.peacher@navy.mil'; Jacob Prilucik; 'klarned@fs.fed.us'; 'Mrivera1@bpa.gov'; 'Lynn.Harmon@PARKS.WA.GOV'; 'Elizabeth.Torrey@dfw.wa.gov'; 'krd.keli@fairpoint.net'; 'fwalker@eburg.wednet.edu'; RichElliott  
**Cc:** Lindsey Ozbolt  
**Subject:** Notice of Application  
**Attachments:** SD-18-00001 Williams NOA.pdf

Good Morning,

Please see the attached Notice of Application for the Williams Shoreline Substantial Development Permit and associated SEPA checklist. All comments are due by 5pm on October 1,2018. The below links will take you to the project files. Please let me know if you have any questions.

[Internal SD-18-00001](#)

[External SD-18-00001](#)

Thank you,

*Chelsea Benner*

Planner I

Kittitas County Community Development Services

411 N Ruby Street, Suite 2 Ellensburg, WA 98926

(p) 509-962-7506 (f) 509-962-7682

[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)

DAILY RECORD/KITTITAS PUB  
C/O IDAHO STATE JOURNAL RECEIVABLES  
PO BOX 1570  
POCATELLO ID 83204  
(509)925-1414  
Fax (509)925-5696

ORDER CONFIRMATION

Salesperson: MEGAN WOODRUFF

Printed at 08/29/18 13:44 by mw018

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Acct #: 84329

Ad #: 1807249

Status: New WHOLD

KC COMMUNITY DEVELOPMENT SERVICES  
411 N. RUBY ST, SUITE 2  
ELLENSBURG WA 98926

Start: 08/31/2018 Stop: 09/14/2018  
Times Ord: 2 Times Run: \*\*\*  
STD6 2.00 X 8.27 Words: 418  
Total STD6 16.54  
Class: 0001 LEGAL NOTICES  
Rate: LEG2 Cost: 288.79  
# Affidavits: 1

Contact: STEPH MIFFLIN

Phone: (509)962-7506

Fax#:

Email: jeff.watson@co.kittitas.wa.u

Agency:

Ad Descript: N/APP SD1800001 WILLIAMS  
Given by: CHELSEA BENNER/LINDSEY OZBOLT  
P.O. #: SD1800001/BENNER/OZB  
Created: mw018 08/29/18 13:33  
Last Changed: mw018 08/29/18 13:44

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PUB ZONE EDT TP RUN DATES  
DR A 97 S 08/31 09/14  
DRWN LEG2 97 S 08/31 09/14  
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AUTHORIZATION

Under this agreement rates are subject to change with 30 days notice. In the event of a cancellation before schedule completion, I understand that the rate charged will be based upon the rate for the number of insertions used.

Quote from Daily Record/Kittitas County Publishing (509) 925-1414  
This ad will run as quoted unless cancellation is received. Please contact your sales rep 24 hours prior to first run date to cancel order.

Lindsay Ozbolt  
Name (print or type)

Lindsay M Ozbolt  
Name (signature)

(CONTINUED ON NEXT PAGE)

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C/O IDAHO STATE JOURNAL RECEIVABLES  
PO BOX 1570  
POCATELLO ID 83204  
(509) 925-1414  
Fax (509) 925-5696

ORDER CONFIRMATION (CONTINUED)

Salesperson: MEGAN WOODRUFF

Printed at 08/29/18 13:44 by mwo18

-----  
Acct #: 84329

Ad #: 1807249

Status: New WHOLD WHOI

**NOTICE OF APPLICATION**

**Project Name (File Number):** Williams Shoreline Substantial Development Permit (SD-18-00001)

**Applicant:** Mitch & Julie Williams

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(509)-962-7637; email at [Chelsea.benner@co.kittitas.wa.us](mailto:Chelsea.benner@co.kittitas.wa.us)

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Application Complete: Wednesday, August 8, 2018

**PUBLISH:**

Daily Record: Friday, August 31, 2018 & Friday, September 14, 2018  
NKC Tribune: Thursday, September 6, 2018

## Chelsea Benner

---

**From:** Terry Hamberg <terry@nkctribune.com>  
**Sent:** Wednesday, August 29, 2018 3:19 PM  
**To:** Chelsea Benner  
**Cc:** Lindsey Ozbolt  
**Subject:** Re: Notice of Application

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

### CONFIRMATION RECEIPT:

Thank you for sharing your Notice with Upper Kittitas County citizens. We have received your email and your notice will be published as requested.

Sincerely,  
Terry Hamberg  
Publisher



Northern Kittitas County Tribune  
P.O. Box 308  
Cle Elum, WA 98922  
(509) 674-2511  
fax: (509) 674-5571  
[tribune@nkctribune.com](mailto:tribune@nkctribune.com)

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*Chelsea Benner*

Planner I  
Kittitas County Community Development Services  
411 N Ruby Street, Suite 2 Ellensburg, WA 98926  
(p) 509-962-7506 (f) 509-962-7682  
[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)

---

Notice: Email sent to Kittitas County may be subject to public disclosure as required by law.  
message id: 38eb45916c6dcbdac24bb8719d004a14

<SD-18-00001 Williams NOA legal.pdf>



STATE OF WASHINGTON  
DEPARTMENT OF ECOLOGY

1250 W Alder St • Union Gap, WA 98903-0009 • (509) 575-2490

September 28, 2018

Chelsea Benner  
Kittitas County Community Development  
411 N. Ruby St., Suite 2  
Ellensburg, WA 98926

Re: SD-18-00001

Dear Ms. Benner:

Thank you for the opportunity to comment during the optional determination of nonsignificance process for the construction of a new bridge, proposed by Mitch and Julie Williams. We have reviewed the documents and have the following comments.

#### WATER QUALITY

Manastash Creek is a protected waterbody. The reach of Manastash Creek that includes the proposed new bridge site has documented summer water temperatures in exceedance of Washington State water quality standards, and is on Washington State's list of impaired waters. Therefore, any work completed on this stretch of the creek must maintain as much of the existing stream-shading vegetation as possible; in this case, the applicant should protect existing riparian vegetation wherever possible and install new native riparian vegetation as part of the project.

Manastash Creek is also included in the Upper Yakima River Basin Suspended Sediment, Turbidity, and Organochlorine Pesticide Total Maximum Daily Load (TMDL) water quality improvement program. Therefore, the proposed project will need to protect Manastash Creek from further degradation from sedimentation. Project planning and construction, and all future use of the site, needs to include water quality protection. The application does not state when the project will be completed; it will be preferable to construct the new bridge when flows in Manastash Creek are low, to avoid as much sediment pollution as possible.

Please contact **Jane Creech** at (509) 454-7860 or email at [jton461@ecy.wa.gov](mailto:jton461@ecy.wa.gov) if you have any questions or concerns about these Water Quality comments.

Sincerely,

Gwen Clear  
Environmental Review Coordinator  
Central Regional Office  
(509) 575-2012  
[crosepacoordinator@ecy.wa.gov](mailto:crosepacoordinator@ecy.wa.gov)



## Chelsea Benner

---

**From:** Rich Elliott <elliotttr@kvfr.org>  
**Sent:** Friday, August 31, 2018 11:30 AM  
**To:** Chelsea Benner  
**Cc:** Joe Seemiller; John Sinclair  
**Subject:** RE: Notice of Application

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

The bridge needs to be compliant with applicable provisions Appendix D – IFC, WUI and Kittitas County road standards. It will need to be posted with engineered weight capacity (minimum 4" characters) from both directions of travel and, at a minimum, be capable of supporting 75,000 lbs.

---

**From:** Chelsea Benner <[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)>  
**Sent:** Friday, August 31, 2018 11:17 AM  
**To:** Julie Kjorsvik <[julie.kjorsvik@co.kittitas.wa.us](mailto:julie.kjorsvik@co.kittitas.wa.us)>; Tristen Lamb <[tristen.lamb@co.kittitas.wa.us](mailto:tristen.lamb@co.kittitas.wa.us)>; Holly Erdman <[Holly.erdman@co.kittitas.wa.us](mailto:Holly.erdman@co.kittitas.wa.us)>; Patti Johnson <[patti.johnson@co.kittitas.wa.us](mailto:patti.johnson@co.kittitas.wa.us)>; Lisa Lawrence <[lisa.lawrence@co.kittitas.wa.us](mailto:lisa.lawrence@co.kittitas.wa.us)>; Taylor Gustafson <[taylor.gustafson@co.kittitas.wa.us](mailto:taylor.gustafson@co.kittitas.wa.us)>; Candie Leader <[candie.leader@co.kittitas.wa.us](mailto:candie.leader@co.kittitas.wa.us)>; 'enviroreview@yakama.com' <[enviroreview@yakama.com](mailto:enviroreview@yakama.com)>; 'johnson@yakama.com' <[johnson@yakama.com](mailto:johnson@yakama.com)>; 'John Marvin' <[jmarvin@yakama.com](mailto:jmarvin@yakama.com)>; 'jessica@yakama.com' <[jessica@yakama.com](mailto:jessica@yakama.com)>; 'migi461@ECY.WA.GOV' <[migi461@ECY.WA.GOV](mailto:migi461@ECY.WA.GOV)>; 'lowh461@ECY.WA.GOV' <[lowh461@ECY.WA.GOV](mailto:lowh461@ECY.WA.GOV)>; 'Gwen Clear' <[gcle461@ecy.wa.gov](mailto:gcle461@ecy.wa.gov)>; [jennifer.nelson@dfw.wa.gov](mailto:jennifer.nelson@dfw.wa.gov); 'Scott.Downes@dfw.wa.gov' <[Scott.Downes@dfw.wa.gov](mailto:Scott.Downes@dfw.wa.gov)>; 'sepa@dahp.wa.gov' <[sepa@dahp.wa.gov](mailto:sepa@dahp.wa.gov)>; 'nelmsk@cwu.edu' <[nelmsk@cwu.edu](mailto:nelmsk@cwu.edu)>; 'jorgenja@cwu.edu' <[jorgenja@cwu.edu](mailto:jorgenja@cwu.edu)>; 'ben.serr@doh.wa.gov' <[ben.serr@doh.wa.gov](mailto:ben.serr@doh.wa.gov)>; 'russell.mau@doh.wa.gov' <[russell.mau@doh.wa.gov](mailto:russell.mau@doh.wa.gov)>; 'becky.kennedy@dnr.wa.gov' <[becky.kennedy@dnr.wa.gov](mailto:becky.kennedy@dnr.wa.gov)>; 'cindy.preston@dnr.wa.gov' <[cindy.preston@dnr.wa.gov](mailto:cindy.preston@dnr.wa.gov)>; 'rivers@dnr.wa.gov' <[rivers@dnr.wa.gov](mailto:rivers@dnr.wa.gov)>; 'Deborah.j.knaub@usace.army.mil' <[Deborah.j.knaub@usace.army.mil](mailto:Deborah.j.knaub@usace.army.mil)>; 'chelberg@usbr.gov' <[chelberg@usbr.gov](mailto:chelberg@usbr.gov)>; 'Michael.j.daniels3.civ@mail.mil' <[Michael.j.daniels3.civ@mail.mil](mailto:Michael.j.daniels3.civ@mail.mil)>; 'Kimberly.peacher@navy.mil' <[Kimberly.peacher@navy.mil](mailto:Kimberly.peacher@navy.mil)>; Jacob Prilucik <[SCPlanning@wsdot.wa.gov](mailto:SCPlanning@wsdot.wa.gov)>; 'klarned@fs.fed.us' <[klarned@fs.fed.us](mailto:klarned@fs.fed.us)>; 'Mrivera1@bpa.gov' <[Mrivera1@bpa.gov](mailto:Mrivera1@bpa.gov)>; 'Lynn.Harmon@PARKS.WA.GOV' <[Lynn.Harmon@PARKS.WA.GOV](mailto:Lynn.Harmon@PARKS.WA.GOV)>; 'Elizabeth.Torrey@dfw.wa.gov' <[Elizabeth.Torrey@dfw.wa.gov](mailto:Elizabeth.Torrey@dfw.wa.gov)>; 'krd.keli@fairpoint.net' <[krd.keli@fairpoint.net](mailto:krd.keli@fairpoint.net)>; 'fwalker@eburg.wednet.edu' <[fwalker@eburg.wednet.edu](mailto:fwalker@eburg.wednet.edu)>; Rich Elliott <[elliotttr@kvfr.org](mailto:elliotttr@kvfr.org)>  
**Cc:** Lindsey Ozbolt <[lindsey.ozbolt@co.kittitas.wa.us](mailto:lindsey.ozbolt@co.kittitas.wa.us)>  
**Subject:** Notice of Application

Good Morning,

Please see the attached Notice of Application for the Williams Shoreline Substantial Development Permit and associated SEPA checklist. All comments are due by 5pm on October 1, 2018. The below links will take you to the project files. Please let me know if you have any questions.

[Internal SD-18-00001](#)

[External SD-18-00001](#)

Thank you,



## *Chelsea Benner*

Planner I

Kittitas County Community Development Services

411 N Ruby Street, Suite 2 Ellensburg, WA 98926

(p) 509-962-7506 (f) 509-962-7682

[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)

---

Notice: Email sent to Kittitas County may be subject to public disclosure as required by law.  
message id: 38eb45916c6dcbdac24bb8719d004a14

## Chelsea Benner

---

**From:** Holly Erdman  
**Sent:** Tuesday, September 04, 2018 4:16 PM  
**To:** Chelsea Benner  
**Cc:** Tristen Lamb  
**Subject:** RE: Notice of Application

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Chelsea,

Public health has no comments or issues with this application. Thank you.

HOLLY ERDMAN  
ENVIRONMENTAL HEALTH SPECIALIST  
KITTITAS COUNTY PUBLIC HEALTH DEPARTMENT  
507 N. NANUM STREET, SUITE 102  
ELLENSBURG, WA. 98926

509-962-7580

---

**From:** Chelsea Benner  
**Sent:** Friday, August 31, 2018 11:17 AM  
**To:** Julie Kjorsvik; Tristen Lamb; Holly Erdman; Patti Johnson; Lisa Lawrence; Taylor Gustafson; Candie Leader; 'enviroreview@yakama.com'; 'johnson@yakama.com'; 'John Marvin'; 'jessica@yakama.com'; 'migi461@ECY.WA.GOV'; 'lowh461@ECY.WA.GOV'; 'Gwen Clear'; 'Jen Nelson'; 'Scott.Downes@dfw.wa.gov'; 'sepa@dahp.wa.gov'; 'nelmsk@cwu.edu'; 'jorgenja@cwu.edu'; 'ben.serr@doh.wa.gov'; 'russell.mau@doh.wa.gov'; 'becky.kennedy@dnr.wa.gov'; 'cindy.preston@dnr.wa.gov'; 'rivers@dnr.wa.gov'; 'Deborah.j.knaub@usace.army.mil'; 'chelberg@usbr.gov'; 'Michael.j.daniels3.civ@mail.mil'; 'Kimberly.peacher@navy.mil'; Jacob Prilucik; 'klarned@fs.fed.us'; 'Mrivera1@bpa.gov'; 'Lynn.Harmon@PARKS.WA.GOV'; 'Elizabeth.Torrey@dfw.wa.gov'; 'krd.keli@fairpoint.net'; 'fwalker@eburg.wednet.edu'; RichElliott  
**Cc:** Lindsey Ozbolt  
**Subject:** Notice of Application

Good Morning,

Please see the attached Notice of Application for the Williams Shoreline Substantial Development Permit and associated SEPA checklist. All comments are due by 5pm on October 1,2018. The below links will take you to the project files. Please let me know if you have any questions.

[Internal SD-18-00001](#)

[External SD-18-00001](#)

Thank you,

## *Chelsea Benner*

Planner I

Kittitas County Community Development Services

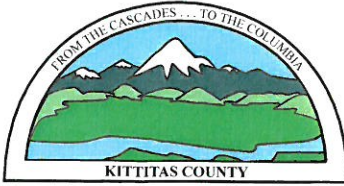
411 N Ruby Street, Suite 2 Ellensburg, WA 98926

(p) 509-962-7506 (f) 509-962-7682

[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)


---

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message id: 38eb45916c6dcbdac24bb8719d004a14



## **KITTITAS COUNTY DEPARTMENT OF PUBLIC WORKS**

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**TO:** Chelsea Benner, Planner I  
**COPY:** Taylor Gustafson, Planner III  
**DATE:** October 19, 2018  
**FROM:** Mark R. Cook, Director   
**RE:** SD-18-00001 Williams

---

Public Works has the following comments on the Williams substantial shoreline development permit application:

1. The bridge specifications provide no engineering calculations. Prior to bridge design approval, supporting calculations and a load rating are required.
2. We do not see anywhere in the application the type, quantity, source and composition of driveway and bridge approach abutment fill is detailed.
3. We note that a 100 year flow volume is referenced but there are no supporting calculations. The flow volume is a necessary component of validating bridge freeboard.
4. The application materials do not identify the access location for the proposed new driveway. It is unclear if the proposed new access location has any implications to floodplain or shoreline.



State of Washington  
**DEPARTMENT OF FISH AND WILDLIFE**  
South Central Region • Ellensburg District Office  
1130 W. University Way, Ellensburg, WA 98926

October 1, 2018

Chelsea Benner  
Kittitas County  
Community Development Services  
411 N. Ruby Street; Suite 2  
Ellensburg, WA 98926

**RE: WDFW comments on SD-18-00001 Williams Shoreline Substantial Development along Manastash Creek**

Dear Ms. Benner,

Thank you for the opportunity to comment on the proposed Shoreline Substantial Development Permit (SD-18-00001 Mitchell) to construct a private bridge for a single family residence.

Mid-Columbia Steelhead have been documented in Manastash Creek and they are currently federally listed as threatened on the endangered species list and are a state candidate species. Manastash Creek supports other fish species as well; including chinook and coho salmon. Millions of dollars in habitat restoration have been invested in the Manastash Watershed for salmon and steelhead recovery and the fish are responding to these conservation efforts. The Williams' have been willing partners on several of these restoration projects.

WDFW met onsite with Mr. Williams and his bridge engineer for a pre-application meeting to discuss the bridge design in July 2018. Preliminary review of the bridge designs indicate that the design meets our current regulations and guidelines for new bridges and Mr. Williams has started the application process for a Hydraulic Project Approval (HPA) from WDFW. The design includes using the cleared trees in channel and along the banks for additional instream fish habitat. The large wood installation within the channel should be part of the Shoreline Development Permit proposal.

While the application materials may be sufficient for hydraulic project review, they lack information needed for the Shoreline Development Permit review. The application materials do not reflect the clearing or fill (grading) needed for driveway construction through the vegetated riparian habitat and Shoreline designated as Rural Conservancy. In the SEPA checklist, the area of disturbance and impervious surface only describes the footprint of the bridge deck (14' x 60') and does not describe actions within the Shoreline jurisdiction that will occur to construct the driveway on either side of the proposed bridge. Without this information, it is difficult to assess impacts to the Shoreline environment, critical areas, or the 100 year floodplain. The riparian corridor along Manastash Creek provides habitat for fish and wildlife and it helps to stabilize the

stream banks, slow and store flood waters, and protect water quality. Additionally, there is little mention of the nearby infrastructure that delivers supplemental water to Manastash Creek; it is critical to ensuring perennial flow in lower Manastash Creek for fish and riparian vegetation.

Please provide additional information for the design and construction of the driveway associated with the proposed bridge and any other work that is proposed within the Shoreline jurisdiction.

We appreciate the opportunity to comment and work with the proponents to meet their needs. Please feel free to contact me at (509) 961-6639 or [Jennifer.nelson@dfw.wa.gov](mailto:Jennifer.nelson@dfw.wa.gov) if you have any questions about these comments.

Sincerely,

A handwritten signature in cursive script that reads "Jennifer Nelson". The signature is written in black ink and is positioned above the typed name and title.

Jennifer Nelson  
Area Habitat Biologist



## KITTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTITAS.WA.US

Office (509) 962-7506

Fax (509) 962-7682

"Building Partnerships – Building Communities"

October 11, 2018

Mitch & Julie Williams  
PO Box 1702  
Ellensburg, WA 98926

Subject: Williams Shoreline Substantial Development Permit (SD-18-00001)

Dear Applicant,

Enclosed are the comments received regarding the Williams Shoreline Substantial Development Permit (SD-18-00001) during the comment period:

August 31, 2018	Kittitas Valley Fire and Rescue – Rich Elliot
September 28, 2018	Department of Ecology – Gwen Clear
October 1, 2018	Department of Fish and Wildlife – Jennifer Nelson

This letter will be followed up with a request for more information in needed once staff reviews all comments. Please review all comments and notify me of any questions.

Sincerely,

Chelsea Benner  
Planner I

Kittitas County Community Development Services  
411 N Ruby Street, Suite 2 Ellensburg, WA 98926  
(p) 509-962-7506 (f) 509-962-7682  
chelsea.benner@co.kittitas.wa.us

## Chelsea Benner

---

**From:** Rich Elliott <elliotttr@kvfr.org>  
**Sent:** Friday, August 31, 2018 11:30 AM  
**To:** Chelsea Benner  
**Cc:** Joe Seemiller; John Sinclair  
**Subject:** RE: Notice of Application

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

The bridge needs to be compliant with applicable provisions Appendix D – IFC, WUI and Kittitas County road standards. It will need to be posted with engineered weight capacity (minimum 4" characters) from both directions of travel and, at a minimum, be capable of supporting 75,000 lbs.

**From:** Chelsea Benner <[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)>  
**Sent:** Friday, August 31, 2018 11:17 AM  
**To:** Julie Kjorsvik <[julie.kjorsvik@co.kittitas.wa.us](mailto:julie.kjorsvik@co.kittitas.wa.us)>; Tristen Lamb <[tristen.lamb@co.kittitas.wa.us](mailto:tristen.lamb@co.kittitas.wa.us)>; Holly Erdman <[Holly.erdman@co.kittitas.wa.us](mailto:Holly.erdman@co.kittitas.wa.us)>; Patti Johnson <[patti.johnson@co.kittitas.wa.us](mailto:patti.johnson@co.kittitas.wa.us)>; Lisa Lawrence <[lisa.lawrence@co.kittitas.wa.us](mailto:lisa.lawrence@co.kittitas.wa.us)>; Taylor Gustafson <[taylor.gustafson@co.kittitas.wa.us](mailto:taylor.gustafson@co.kittitas.wa.us)>; Candie Leader <[candie.leader@co.kittitas.wa.us](mailto:candie.leader@co.kittitas.wa.us)>; 'enviroreview@yakama.com' <[enviroreview@yakama.com](mailto:enviroreview@yakama.com)>; 'johnson@yakama.com' <[johnson@yakama.com](mailto:johnson@yakama.com)>; 'John Marvin' <[jmarvin@yakama.com](mailto:jmarvin@yakama.com)>; 'jessica@yakama.com' <[jessica@yakama.com](mailto:jessica@yakama.com)>; 'migi461@ECY.WA.GOV' <[migi461@ECY.WA.GOV](mailto:migi461@ECY.WA.GOV)>; 'lowh461@ECY.WA.GOV' <[lowh461@ECY.WA.GOV](mailto:lowh461@ECY.WA.GOV)>; 'Gwen Clear' <[gcle461@ecy.wa.gov](mailto:gcle461@ecy.wa.gov)>; [jennifer.nelson@dfw.wa.gov](mailto:jennifer.nelson@dfw.wa.gov); 'Scott.Downes@dfw.wa.gov' <[Scott.Downes@dfw.wa.gov](mailto:Scott.Downes@dfw.wa.gov)>; 'sepa@dahp.wa.gov' <[sepa@dahp.wa.gov](mailto:sepa@dahp.wa.gov)>; 'nelmsk@cwu.edu' <[nelmsk@cwu.edu](mailto:nelmsk@cwu.edu)>; 'jorgenja@cwu.edu' <[jorgenja@cwu.edu](mailto:jorgenja@cwu.edu)>; 'ben.serr@doh.wa.gov' <[ben.serr@doh.wa.gov](mailto:ben.serr@doh.wa.gov)>; 'russell.mau@doh.wa.gov' <[russell.mau@doh.wa.gov](mailto:russell.mau@doh.wa.gov)>; 'becky.kennedy@dnr.wa.gov' <[becky.kennedy@dnr.wa.gov](mailto:becky.kennedy@dnr.wa.gov)>; 'cindy.preston@dnr.wa.gov' <[cindy.preston@dnr.wa.gov](mailto:cindy.preston@dnr.wa.gov)>; 'rivers@dnr.wa.gov' <[rivers@dnr.wa.gov](mailto:rivers@dnr.wa.gov)>; 'Deborah.j.knaub@usace.army.mil' <[Deborah.j.knaub@usace.army.mil](mailto:Deborah.j.knaub@usace.army.mil)>; 'chelberg@usbr.gov' <[chelberg@usbr.gov](mailto:chelberg@usbr.gov)>; 'Michael.j.daniels3.civ@mail.mil' <[Michael.j.daniels3.civ@mail.mil](mailto:Michael.j.daniels3.civ@mail.mil)>; 'Kimberly.peacher@navy.mil' <[Kimberly.peacher@navy.mil](mailto:Kimberly.peacher@navy.mil)>; Jacob Prilucik <[SCPlanning@wsdot.wa.gov](mailto:SCPlanning@wsdot.wa.gov)>; 'klarned@fs.fed.us' <[klarned@fs.fed.us](mailto:klarned@fs.fed.us)>; 'Mrivera1@bpa.gov' <[Mrivera1@bpa.gov](mailto:Mrivera1@bpa.gov)>; 'Lynn.Harmon@PARKS.WA.GOV' <[Lynn.Harmon@PARKS.WA.GOV](mailto:Lynn.Harmon@PARKS.WA.GOV)>; 'Elizabeth.Torrey@dfw.wa.gov' <[Elizabeth.Torrey@dfw.wa.gov](mailto:Elizabeth.Torrey@dfw.wa.gov)>; 'krd.keli@fairpoint.net' <[krd.keli@fairpoint.net](mailto:krd.keli@fairpoint.net)>; 'fwalker@eburg.wednet.edu' <[fwalker@eburg.wednet.edu](mailto:fwalker@eburg.wednet.edu)>; Rich Elliott <[elliotttr@kvfr.org](mailto:elliotttr@kvfr.org)>  
**Cc:** Lindsey Ozbolt <[lindsey.ozbolt@co.kittitas.wa.us](mailto:lindsey.ozbolt@co.kittitas.wa.us)>  
**Subject:** Notice of Application

Good Morning,

Please see the attached Notice of Application for the Williams Shoreline Substantial Development Permit and associated SEPA checklist. All comments are due by 5pm on October 1,2018. The below links will take you to the project files. Please let me know if you have any questions.

[Internal SD-18-00001](#)

[External SD-18-00001](#)

Thank you,



## *Chelsea Benner*

Planner I

Kittitas County Community Development Services

411 N Ruby Street, Suite 2 Ellensburg, WA 98926

(p) 509-962-7506 (f) 509-962-7682

[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)

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message id: 38eb45916c6dcbdac24bb8719d004a14



STATE OF WASHINGTON  
DEPARTMENT OF ECOLOGY

1250 W Alder St • Union Gap, WA 98903-0009 • (509) 575-2490

September 28, 2018

Chelsea Benner  
Kittitas County Community Development  
411 N. Ruby St., Suite 2  
Ellensburg, WA 98926

Re: SD-18-00001

Dear Ms. Benner:

Thank you for the opportunity to comment during the optional determination of nonsignificance process for the construction of a new bridge, proposed by Mitch and Julie Williams. We have reviewed the documents and have the following comments.

#### WATER QUALITY

Manastash Creek is a protected waterbody. The reach of Manastash Creek that includes the proposed new bridge site has documented summer water temperatures in exceedance of Washington State water quality standards, and is on Washington State's list of impaired waters. Therefore, any work completed on this stretch of the creek must maintain as much of the existing stream-shading vegetation as possible; in this case, the applicant should protect existing riparian vegetation wherever possible and install new native riparian vegetation as part of the project.

Manastash Creek is also included in the Upper Yakima River Basin Suspended Sediment, Turbidity, and Organochlorine Pesticide Total Maximum Daily Load (TMDL) water quality improvement program. Therefore, the proposed project will need to protect Manastash Creek from further degradation from sedimentation. Project planning and construction, and all future use of the site, needs to include water quality protection. The application does not state when the project will be completed; it will be preferable to construct the new bridge when flows in Manastash Creek are low, to avoid as much sediment pollution as possible.

Please contact Jane Creech at (509) 454-7860 or email at [jton461@ecy.wa.gov](mailto:jton461@ecy.wa.gov) if you have any questions or concerns about these Water Quality comments.

Sincerely,

A handwritten signature in blue ink that reads "Gwen Clear".

Gwen Clear  
Environmental Review Coordinator  
Central Regional Office  
(509) 575-2012  
[crosepacoordinator@ecy.wa.gov](mailto:crosepacoordinator@ecy.wa.gov)





State of Washington  
**DEPARTMENT OF FISH AND WILDLIFE**  
South Central Region • Ellensburg District Office  
1130 W. University Way, Ellensburg, WA 98926

October 1, 2018

Chelsea Benner  
Kittitas County  
Community Development Services  
411 N. Ruby Street; Suite 2  
Ellensburg, WA 98926

**RE: WDFW comments on SD-18-00001 Williams Shoreline Substantial Development along Manastash Creek**

Dear Ms. Benner,

Thank you for the opportunity to comment on the proposed Shoreline Substantial Development Permit (SD-18-00001 Mitchell) to construct a private bridge for a single family residence.

Mid-Columbia Steelhead have been documented in Manastash Creek and they are currently federally listed as threatened on the endangered species list and are a state candidate species. Manastash Creek supports other fish species as well; including chinook and coho salmon. Millions of dollars in habitat restoration have been invested in the Manastash Watershed for salmon and steelhead recovery and the fish are responding to these conservation efforts. The Williams' have been willing partners on several of these restoration projects.

WDFW met onsite with Mr. Williams and his bridge engineer for a pre-application meeting to discuss the bridge design in July 2018. Preliminary review of the bridge designs indicate that the design meets our current regulations and guidelines for new bridges and Mr. Williams has started the application process for a Hydraulic Project Approval (HPA) from WDFW. The design includes using the cleared trees in channel and along the banks for additional instream fish habitat. The large wood installation within the channel should be part of the Shoreline Development Permit proposal.

While the application materials may be sufficient for hydraulic project review, they lack information needed for the Shoreline Development Permit review. The application materials do not reflect the clearing or fill (grading) needed for driveway construction through the vegetated riparian habitat and Shoreline designated as Rural Conservancy. In the SEPA checklist, the area of disturbance and impervious surface only describes the footprint of the bridge deck (14' x 60') and does not describe actions within the Shoreline jurisdiction that will occur to construct the driveway on either side of the proposed bridge. Without this information, it is difficult to assess impacts to the Shoreline environment, critical areas, or the 100 year floodplain. The riparian corridor along Manastash Creek provides habitat for fish and wildlife and it helps to stabilize the

stream banks, slow and store flood waters, and protect water quality. Additionally, there is little mention of the nearby infrastructure that delivers supplemental water to Manastash Creek; it is critical to ensuring perennial flow in lower Manastash Creek for fish and riparian vegetation.

Please provide additional information for the design and construction of the driveway associated with the proposed bridge and any other work that is proposed within the Shoreline jurisdiction.

We appreciate the opportunity to comment and work with the proponents to meet their needs. Please feel free to contact me at (509) 961-6639 or [Jennifer.nelson@dfw.wa.gov](mailto:Jennifer.nelson@dfw.wa.gov) if you have any questions about these comments.

Sincerely,

A handwritten signature in cursive script that reads "Jennifer Nelson". The signature is written in black ink and is positioned above the typed name and title.

Jennifer Nelson  
Area Habitat Biologist



## KITTTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTTITAS.WA.US

Office (509) 962-7506

Fax (509) 962-7682

"Building Partnerships – Building Communities"

October 23, 2018

Mitch & Julie Williams  
PO Box 1702  
Ellensburg, WA 98926

Subject: Williams Shoreline Substantial Development Permit (SD-18-00001)

Dear Applicant,

The comments received in regards to your application have been reviewed. Based on the WDFW and Public Works comments, it has been determined that more information is required for continued processing of your permit application. Please provide the following information:

1. Detailed specifications on the new portion of driveway to be constructed. This information must include type and quantity of fill, grading information, composition of proposed driveway, and disturbed area measurements.

Please note that Kittitas County Public Works submitted comments outside of the normal comment period on October 19, 2018, these comments are attached for you to review. Once the additional information is submitted to CDS, processing of your application will continue. Please let me know if you have any questions.

Sincerely,

Chelsea Benner

Planner I

Kittitas County Community Development Services

411 N Ruby Street, Suite 2 Ellensburg, WA 98926

(p) 509-962-7506 (f) 509-962-7682

[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)

Enclosure: Public Works Comments



# KITITTAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926  
CDS@CO.KITITTAS.WA.US  
Office (509) 962-7506  
Fax (509) 962-7682

"Building Partnerships – Building Communities"

February 6, 2018

Mitch & Julie Williams  
PO Box 1702  
Ellensburg, WA 98926  
[mitch@mfwilliams.net](mailto:mitch@mfwilliams.net)

Subject: Williams Shoreline Substantial Development Permit (SD-18-00001)  
Second Request for Information

Dear Applicant,

On October 23, 2018 a request for information letter was sent to you. In response to this request, CDS was provided a copy of a Grading Permit Application on January 29, 2019. The received information is not adequate to fulfill our request of additional information, therefore further action is required. Please provide the following:

1. Detailed narrative covering specifications on the new portion of driveway to be constructed. The narrative must include:

- a. Type of fill
- b. Grading information (See enclosed Public Works Memo for specifics)
- c. Composition of proposed driveway
- d. Disturbed area measurements

Please submit all required information directly to Kittitas County Development Services. Once the additional information is submitted by the applicant, processing of the application will continue. Please let me know if you have any questions.

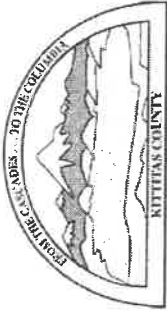
Sincerely,

Chelsea Benner  
Planner I  
Kittitas County Community Development Services  
411 N Ruby Street, Suite 2 Ellensburg, WA 98926  
(p) 509-962-7506 (f) 509-962-7682  
[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)

Enclosure: Grading Permit Application  
Kittitas County Public Works Memo, October 19, 2018

Cc: Mark Cook, Kittitas County Public Works Director  
Lindsey Ozbolt, Kittitas County Planning Official  
Taylor Gustafson, Kittitas County Public Works Planner

via email  
via email  
via email



# KITTTAS COUNTY DEPARTMENT OF PUBLIC WORKS

## GRADING PERMIT APPLICATION

Rec # 35816

Application for:  Grading Permit under 500 Cubic Yards \$505.00  
 Grading Permit Over 500 Cubic Yards \$1,250.00  
Payment Method:  Cash  
CK # 5123  Check

Owner Name MITCH WILKIE WILLIAMS Permit # GP-18-00018

Mailing Address P.O. Box 1702

Phone Number ELIENSBURG, WA 98926

Email Address 509 899-0166  
MITCHEMFWILLIAMS-NEI

Applicant Name SAQUE  
Mailing Address \_\_\_\_\_

Phone Number \_\_\_\_\_  
Email Address \_\_\_\_\_

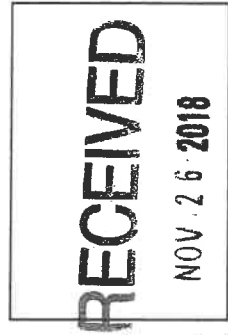
Engineer Name PAUL TAPPEL

Engineer Firm FISHERIES ENGINEERS, INC

Mailing Address 5100 243RD ST. SW  
BRIER, WA 98036

Phone Number 425 482-6420

Email Address FISHERENGINEER@COMCAST.NET



**Tax Parcel Information**  
Situs Address: 7501 MANASTASH ROAD, ELIENSBURG  
Map Number and Tax Parcel Number: 17-17-11040-0015  
17-17-11040-0017  
Property size: COMBINED 10.51ac + 5.13ac = 15.70 ac (acres)

- 1. Is project within a Critical Area:**

Floodplain \_\_\_\_\_ Habitat Conservation Areas \_\_\_\_\_  
 Wetland \_\_\_\_\_ Geologic Hazardous Area \_\_\_\_\_
- 2. Is project within 200' of a Shoreline of the State:**  Yes \_\_\_\_\_ No \_\_\_\_\_
- 3. Project Information:**

Maximum fill depth: 6' ± (feet) Maximum cut depth: 1' ± (feet)  
Quantity of fill: 350 (cubic yards) Quantity of excavation: LESS 100 (cubic yards)  
Maximum fill slope: SEE BINDER DESIGN (feet) Maximum cut slope: SEE BINDER DESIGN

Categories	Components
<input checked="" type="checkbox"/> Structure	<input checked="" type="checkbox"/> Excavation
<input checked="" type="checkbox"/> Road	<input checked="" type="checkbox"/> Fill
<input checked="" type="checkbox"/> Bridge / Culvert	<input type="checkbox"/> Channelization
<input type="checkbox"/> Levee	<input checked="" type="checkbox"/> Grading
<input type="checkbox"/> Stream Bank / Channel	<input checked="" type="checkbox"/> Clearing
<input type="checkbox"/> Irrigation Structure	<input type="checkbox"/> Mining and Dredging
<input type="checkbox"/> Habitat Enhancement	<input type="checkbox"/> Drilling
<input type="checkbox"/> Utilities	<input type="checkbox"/> Wetland Impact
<input type="checkbox"/> Subdivision (new or expansion)	<input type="checkbox"/> Other: _____
- 4. Grading plan type:** \_\_\_\_\_ Regular \_\_\_\_\_ Engineered



Kittitas Co. CDS

SEE FLOOD PLAN PERMIT  
# 32290010 7/30/2018

Grading plan checklist:

- Easily reproducible scale on the plan of appropriate size depicting location and details of all cuts and all fills including depth and finished slopes of all cuts and all fills.
- General vicinity map of the area.
- North arrow.
- Subject property boundary lines, existing and proposed roads or driveways, easements, natural or manmade bodies of water and drainages, critical areas, shorelines, floodplains, and any existing or proposed structures, wells or septic systems on the site, and the distance between such features.
- Bodies of water, critical areas, structures, wells and septic systems on adjacent property and lying within 50 feet of the subject grading activity boundary that could be affected by the proposed grading operations.
- Maps drawn with contour intervals that adequately depict existing and proposed slopes for the proposal.
- Total quantities, in cubic yards, and type of cut and fill material, including on-site grading material, and imported material.
- Cross section drawings that include:
  - Maximum depth of fill and maximum height of cuts.
  - Existing and proposed buildings and their setbacks from cut or fill slopes.
  - Existing grades extending a minimum of twenty (20) feet beyond the scope of work.
  - Finished grades of cuts and fills extending a minimum of twenty (20) feet beyond the scope of work.
  - Retaining walls and the adjacent grade at least twenty (20) feet on either side of the wall(s).
  - Grades of all existing cut and fill areas expressed as a ratio of horizontal to vertical slope.
- The disposal site for excavated material. Offsite disposal may require a separate grading permit.
- The location of proposed erosion and sedimentation control measures showing compliance with the requirements of WDOE Stormwater Management Manual for Eastern Washington.
- Detailed plans of all surface and subsurface drainage devices, walls, cribbing, dams, berms, settling ponds, or other water or erosion control devices to be utilized as a part of the proposed work.
- Any recommendations included in an engineering geology or geotechnical assessment or report for grading or developing the property. If required, assessment and reports shall be completed in compliance with KCC 17A Critical Areas.

5. List all applicable local, state and federal permits and indicate whether they were issued, waived, denied or pending. SEE FLOOD PLAN PERMIT  
32290010 7/30/2018

6. Project description and additional project information (attach additional sheets if necessary):  
NEW BUDGET APPENDIX

**AUTHORIZATION**

Application is hereby made for permit(s) to authorize the activities described herein. I certify that I am familiar with the information contained in this application, and that to the best of my knowledge and belief such information is true, complete, and accurate. I further certify that I possess the authority to undertake the proposed activities. I hereby grant to the agencies to which this application is made, the right to enter the above-described location to inspect the proposed and or completed work.

All correspondence and notices will be transmitted to the Land Owner of Record and copies sent to the authorized agent, as applicable.

Signature of Authorized Agent: \_\_\_\_\_ Date: \_\_\_\_\_  
(REQUIRED if indicated on application)  
X \_\_\_\_\_


Signature of Land Owner of Record \_\_\_\_\_ Date: NOV. 26, 2018  
(Required for application(s) (submital):  
X [Signature]





**KITITIAS COUNTY**  
**DEPARTMENT OF PUBLIC WORKS**

---

**TO:** Chelsea Benner, Planner I  
**COPY:** Taylor Gustafson, Planner III  
**DATE:** October 19, 2018  
**FROM:** Mark R. Cook, Director   
**RE:** SD-18-00001 Williams

---

Public Works has the following comments on the Williams substantial shoreline development permit application:

1. The bridge specifications provide no engineering calculations. Prior to bridge design approval, supporting calculations and a load rating are required.
2. We do not see anywhere in the application the type, quantity, source and composition of driveway and bridge approach abutment fill is detailed.
3. We note that a 100 year flow volume is referenced but there are no supporting calculations. The flow volume is a necessary component of validating bridge freeboard.
4. The application materials do not identify the access location for the proposed new driveway. It is unclear if the proposed new access location has any implications to floodplain or shoreline.

---

411 N. Ruby, Suite #1  
Ellensburg, WA 98926

TEL (509) 962-7523  
FAX (509) 962-7663

## Chelsea Benner

---

**From:** Mitch Williams <mitch@mfwilliams.net>  
**Sent:** Friday, February 08, 2019 11:55 AM  
**To:** Chelsea Benner  
**Cc:** Lindsey Ozbolt; Mark Cook; Taylor Gustafson  
**Subject:** Re: SD-18-00001

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

ALL, Please be advised that I am authorizing Paul Tapple to represent me on the application for my private bridge.

Thank you, Mitch Williams

Sent from my U.S. Cellular® Smartphone

----- Original message -----

**From:** Chelsea Benner <[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)>  
**Date:** 2/6/19 5:49 PM (GMT-07:00)  
**To:** Mitch Williams <[mitch@mfwilliams.net](mailto:mitch@mfwilliams.net)>  
**Cc:** Lindsey Ozbolt <[lindsey.ozbolt@co.kittitas.wa.us](mailto:lindsey.ozbolt@co.kittitas.wa.us)>, Mark Cook <[mark.cook@co.kittitas.wa.us](mailto:mark.cook@co.kittitas.wa.us)>, Taylor Gustafson <[taylor.gustafson@co.kittitas.wa.us](mailto:taylor.gustafson@co.kittitas.wa.us)>  
**Subject:** FW: SD-18-00001

I apologize, here is the attachment.  
Thank you,

## *Chelsea Benner*

Planner I  
Kittitas County Community Development Services  
411 N Ruby Street, Suite 2 Ellensburg, WA 98926  
(p) 509-962-7506 (f) 509-962-7682  
[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)

---

**From:** Chelsea Benner  
**Sent:** Wednesday, February 06, 2019 4:49 PM  
**To:** 'Mitch Williams'  
**Cc:** Lindsey Ozbolt; Mark Cook; Taylor Gustafson  
**Subject:** SD-18-00001

Good Afternoon,  
Please see the attached letter in regards to your Shoreline Substantial Development Application.  
Thank you,

## *Chelsea Benner*

Planner I

Kittitas County Community Development Services

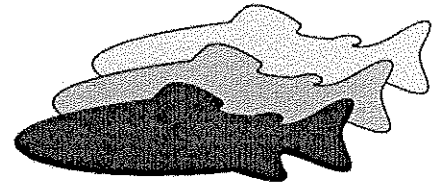
411 N Ruby Street, Suite 2 Ellensburg, WA 98926

(p) 509-962-7506 (f) 509-962-7682

[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)

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Notice: Email sent to Kittitas County may be subject to public disclosure as required by law.  
message id: 38eb45916c6dcbdac24bb8719d004a14



# Memorandum

**To:** Chelsea Benner, Kittitas County CDS

**From:** Paul Tappel, Fisheries Engineers, Inc.

**Cc:** Mitch & Julie Williams

**Date:** February 15, 2019

**Re:** Addendum to Grading Permit No. GP-18-00018 (Williams)

This memo, and two drawings (Drawings 10 and 11) provide additional information for the subject grading permit. Below, I address each of your requests, with technical narrative and description for the listed topics (in order from your 2/6/2019 memo to Williams):

## **a. Type of Fill**

All materials used to construct the proposed driveway and bridge approaches (except rock subgrade and final driving surface) will be native soils obtained from an upland borrow site on Williams' property. These soils will be a granular mix of gravel, sand, silt and clay with maximum gravel 6"-size and less than 10% clay, so compaction will not be sensitive to water content (within limits). Soils will be placed in 1'-thick (maximum) lifts and compacted to at least 90% of maximum density with vibratory compaction equipment. Soil materials will meet requirements of WSDOT Standard Specification 9-03.14(2) (Select Borrow), and compaction will generally comply with WSDOT 2-03.3(14)C, Method B (Compacting Earth Embankments).

A 4"-thick rock subgrade (broken rock, 4"-minus) will be placed over compacted native embankment materials for solid driveway support between compacted soil embankment and surface crushed rock. Over the rock subgrade, a 4"-thick layer crushed surfacing base course (WSDOT 9-03.9(3)) (1¼"-minus crushed rock) will be placed and compacted. Driveway surface will be 16'-wide, except over the 60'-span bridge with deck width 14' (see Drawings 10 and 11).

## **b. Grading Information**

Your request for additional information for this topic also referenced a memo from Mark Cook (PE) dated 10/19/2018. The type, quantity, source, and composition of proposed materials for driveway construction are as follows:

- ✓ Embankment materials for driveway and bridge approaches will be native soils as previously described. I estimate that 140 cubic yards (CY) of native soils will

be needed for the approach on north side of bridge (Drawing 11); all fill north of the bridge will be above floodplain elevation (Drawings 10 and 11).

- ✓ Bridge approach construction on the south side of bridge will require 470 CY of native soil materials, with an estimated 130 CY (included in total 470 CY) to be placed on the existing floodplain and lower than the estimated 100-year flood.
- ✓ The proposed loss of 130 CY floodplain water storage volume will be off-set by excavating a 220'-long driveway section to be about 1' lower than existing floodplain elevation (Drawings 10 and 11). The counter-sunk driveway (Drawing 11) will balance with proposed bridge approach fill for net zero change in floodplain water storage capacity.
- ✓ It is recognized that the counter-sunk driveway section will be submerged during peak flow events of Manastash Creek. There is an existing alternate route for vehicle access to the Williams residence, e.g. for Emergency Vehicle Access during floods.
- ✓ The top 8"-thick of the proposed driveway will be fractured rock (4"-minus) with compacted crushed rock driving surface as described above. An estimated 130 tons of 4"-minus broken rock for subgrade will be required, with 190 tons of crushed rock supplied, spread, and compacted for the driveway surface (crushed rock also over bridge deck).

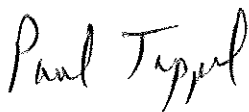
### c. **Composition of Proposed Driveway**

The proposed composition and amounts of driveway construction materials are described above.

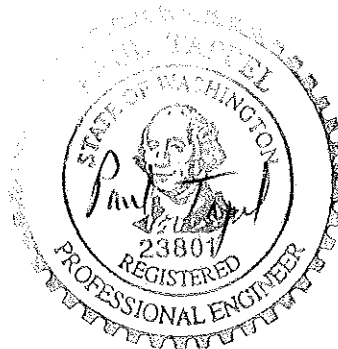
### d. **Disturbed Area Measurement**

I assumed that clearing and soil disturbance would occur to 4' outside the plan view area shown on Drawing 10 for the driveway, bridge approaches, and bridge. Total disturbed area for the project would be 12,900 ft<sup>2</sup> (0.30 acre). Disturbance of existing areas within the floodplain will be 9,700 ft<sup>2</sup> (0.22 acre) included within the total disturbed area. As noted on Drawing 11, all disturbed soils and new road slopes would be seeded, then straw mulch spread, after completion of the driveway construction project.

Please give me a call (or e-mail) if you have any questions about the supplemental information and drawings included herein, for Grading Permit No. GP-18-00018. Thank you !



Paul Tappel, PE  
Civil Engineer & Fisheries Biologist



## Chelsea Benner

---

**From:** Paul Tappel <fishengineer@comcast.net>  
**Sent:** Tuesday, April 23, 2019 2:02 PM  
**To:** Chelsea Benner; Mark Cook; Williams, Mitch  
**Subject:** Addendum with Revised Drawings, SD-18-00001 and GP-18-00018 (Williams)  
**Attachments:** ManastashCreekBridgeMemoGradingShorelinePermits\_4\_23\_2019.doc;  
Addendum\_SD-18-00001\_GP\_18-00018\_Williams\_4\_23\_2019.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

See attached. I sent the Word document for Addendum memo in case the print is small when printed out with revised drawings. Let me know if anything else is required for these permits, thank you ! Paul Tappel



## KITTTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTTITAS.WA.US

Office (509) 962-7506

Fax (509) 962-7682

"Building Partnerships – Building Communities"

May 20, 2019

Mitch & Julie Williams  
PO Box 1702  
Ellensburg, WA 98926  
[mitch@mfwilliams.net](mailto:mitch@mfwilliams.net)

Paul Tappel  
3100 243<sup>rd</sup> St. SW  
Brier, WA 98036  
[fishengineer@comcast.net](mailto:fishengineer@comcast.net)

Subject: Williams Shoreline Substantial Development Permit (SD-18-00001)

Dear Applicant,

On April 18, 2019 Kittitas County Community Development received the findings of fact and decision for the Road Variance RV-19-00003. Through these findings it was determined that the new driveway and the proposed bridge must maintain the required 16' width. As the original submittal packet only identified a 14' bridge and driveway, we will need updated documents explaining the change. CDS has on file an updated site plan but still requires an updated project narrative. Please provide the requested information by November 21, 2019. Once this document is received CDS can continue with the processing of your application.

Please contact the office if you have any further questions.

Thank you

  
Chelsea Benner  
Planner I

Kittitas County Community Development Services  
411 N Ruby Street, Suite 2 Ellensburg, WA 98926  
(p) 509-962-7506 (f) 509-962-7682  
[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)

## Chelsea Benner

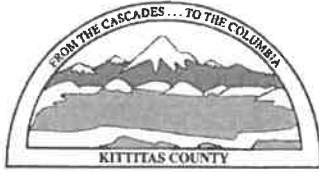
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**From:** Paul Tappel <fishengineer@comcast.net>  
**Sent:** Tuesday, May 21, 2019 3:50 PM  
**To:** Chelsea Benner; Mark Cook; Williams, Mitch  
**Subject:** Addendum SD-18-00001 and GP-18-00018  
**Attachments:** DOC052119-001.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

See attached memo. A very similar memo was sent April 23, 2019, but it did not list the specific reason the bridge deck was increased from 14'-wide to 16'-wide. Maybe this original memo (dated 4/23/2019) has been separated from the revised drawings(?). Let me know if any more explanation is required, thank you! Paul Tappel





**KITTITAS COUNTY**  
**DEPARTMENT OF PUBLIC WORKS**

**RECEIVED**  
**APR 18 2019**  
Kittitas Co. CDS

**KITTITAS COUNTY**  
**ROAD VARIANCE COMMITTEE**

**IN THE MATTER OF**

RV-19-00003  
Mitch Williams

)  
)  
)  
)  
)

**FINDINGS OF FACTS,  
CONCLUSIONS AT LAW, AND  
DECISION**

**FINDINGS**

This matter having come before the Road Variance Committee upon the above referenced Road Variance Application submitted by Mitch Williams, owner of parcels 825033 and 10685, the Road Variance Committee makes the following Findings of Facts, Conclusions of Law and Decision related to the above referenced matter:

1. The Road Variance Committee finds that Mitch Williams, owner of parcels 825033 and 10685, submitted a road variance application on January 22, 2019.
2. The subject properties are located at 7501 Manastash Road, in Ellensburg, WA.
3. The Committee Finds that the applicant is asking for a variance to the 2015 Kittitas County Road Standards 12.07.010 Design Standards (A): Bridge and major drainage structure clear width shall accommodate the full width of the traveled lanes and shoulders of approach roads.
4. The Committee Finds that Chapter 12.04.080 Table 4-4 requires that driveways over 150' in length be a minimum of 16' wide driving surface.
5. The Committee finds that the applicant is seeking a variance, allowing a 14' wide bridge.
6. The Committee finds that an open record hearing was held on March 20, 2019 and that testimony was taken from those persons present who wished to be heard.

7. The Committee finds that the proposal is not in the public interest and that requirements for safety function, fire protection, appearance and maintainability based upon sound engineering judgment are not fully met, as required by KCC 12.01.130.
8. The Committee finds that additional conditions are necessary to protect the public's interest, specifically that the bridge be 16 feet wide.

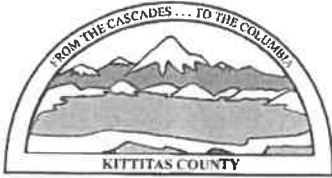
Dated this 20th day of March, 2019.

KITTITAS COUNTY PUBLIC WORKS  
DIRECTOR OF PUBLIC WORKS



---

Mark R. Cook, PE



# KITTITAS COUNTY DEPARTMENT OF PUBLIC WORKS

Mark Cook, Director

ROAD VARIANCE MEETING MINUTES  
March 20, 2019  
2:00 pm

**RECEIVED**  
APR 18 2019  
Kittitas Co. CDS

**THOSE PRESENT:**

Mark Cook (PW), Dan Carlson (CDS), Patrick Nicholson (Fire Marshal), Rich Elliott (KVFR), Kelly Bacon (PW- Clerk), Marc Kirkpatrick (via phone)

**GUESTS PRESENT:**

**Williams**  
**RV-19-00003:**

Mark Cook called the meeting to order at 2:02 pm. Kelly Bacon presented the road variance. The applicant is asking for a variance to the width requirement for a bridge from 16' wide to 14' wide. Patrick Nicholson stated he has concerns in regards to fire apparatus access road width supporting vehicles crossing the proposed bridge. He stated that a narrow bridge would become a choke point during emergencies. Mark Cook stated that Public Works is currently in the process of replacing a primitive road bridge on Fish Lake Road, which is going to be 16' wide in keeping with commitment to fire life and safety. Public Works supports a 16' wide structure. Dan Carlson stated there are no planning and zoning issues. Dan asked if the applicant provided pullouts on either side of the bridge, if that would address the issues. Patrick Nicholson was interested in hearing Chief Rich Elliott's opinion on the pullouts option, but would be willing to consider. Rich Elliott went over the email he sent on March 7, 2019 regarding to the concerns the Fire Districts have with a non-compliant bridge. He stated that during an emergency there would most likely be hose laid across the bridge. Ice or smoke causes narrower crossings, and adding that to an already narrow bridge would complicate response and evacuation. If the compliant bridge at 16' wide did not fit in the location, consideration of a narrower bridge would make more sense. In this

instance that is not the case and it is simply for cost. If approved, the committee would be setting precedence. Dan Carlson stated that the code for road variance can consider hardships, but not cost. Patrick Nicholson stated that turnouts would address one concern but not all concerns. If there are no other reasons other than cost, he would be inclined to stay with the 16' requirement.

Dan Carlson motioned to deny the road variance, as it is not in the public's interest and that requirements for safety function, fire protection, appearance and maintainability based upon sound engineering judgement are not fully met.

Patrick Nicholson Seconded the motion.

No discussion.

Motion Carries 5-0

**Gorchels**  
**RV-19-00004:**

Kelly Bacon presented the road variance application. The applicant is seeking relief from the grade requirement of 15% for his driveway. The driveway currently serves two other residences and he is the final lot to develop. A 120 foot section of the driveway exceeds the maximum grade, but has been in place for years. The area is only accessible during the winter by groomed snowmobile trails. Patrick Nicholson stated he would like to know if there is a fire sprinkler requirement on the residence. Mark Cook stated that there are issues with the access permit process for driveways and our requirements being ignored. He also stated that the process is flawed as we are being called for inspection of a project when the applicants are seeking Occupancy Permit, rather than ensuring that our requirements can be met on a project site prior to issuance of a building permit. Patrick Nicholson stated that with the entire length of the driveway, he is okay with the idea of approving the exceeded grade.

Rich Elliott moved to approve the variance as presented.

Dan Carlson seconded the motion.

No discussion

Motion Carries 5-0

Meeting adjourned at 2:30 pm



---

Mark Cook, Director of Public Works  
Kittitas County Public Works



## KITTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTITAS.WA.US

Office (509) 962-7506

Fax (509) 962-7682

Building Partnerships; Building Communities

### DETERMINATION OF NONSIGNIFICANCE

**File:** SD-18-00001

**Description:** Williams Shoreline Substantial Development Permit

**Proponent:** Mitch & Julie Williams  
7501 Manastash Rd Ellensburg, WA 98926

**Location:** 7501 Manastash Rd Ellensburg, located at NW ¼ of section 14, township 17 N, range 17 E, WM in Kittitas County

**Lead Agency:** Kittitas County Community Development Services

The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist and other information on file with the lead agency. This information is available to the public on request, or can be viewed at the Kittitas County Community Development Services website at: <http://www.co.kittitas.wa.us/cds/planning/> under "Land use, Shoreline Substantial Development Permits, and SD-18-00001."

This DNS is issued under WAC 197-11-355 the lead agency will not act on this proposal for 10 working days. Any action to set aside, enjoin, review, or otherwise challenge this administrative SEPA action on the grounds of noncompliance with the provisions of Chapter 43.21 RCW, shall be commenced on or before **July 8, 2019 at 5pm**. To the Kittitas County Board of Commissioners, Rm. 108, County Courthouse, Ellensburg WA 98926

**Responsible**

**Official:**

Lindsey Ozbolt

**Title:** Planning Official

**Address:** Kittitas County Community Development Services  
411 North Ruby St., Suite 2  
Ellensburg, WA 98926  
(509) 962-7506

**Date:** June 20, 2019

**Pursuant to Chapter 15A.07 KCC, this DNS may be appealed by submitting specific factual objections in writing with a fee of \$1560.00 to the Kittitas County Board of Commissioners, Kittitas County Courthouse Room 108, Ellensburg, WA 98926. Timely appeals must be received no later than 5:00pm, July 8, 2019. Aggrieved parties are encouraged to contact the Board at (509) 962-7508 for more information on appeal process.**



## Williams Shoreline Substantial Development Permit File Number SD-18-00001

### FINDINGS OF FACT, DECISION AND CONDITIONS OF APPROVAL

#### I. GENERAL INFORMATION

**Proposal (Original) 7/30/2018:** Applicant is proposing to construct a new bridge to serve as the primary access for their existing residence. The proposed structure is approximately 840 square feet in size. Construction of the bridge will include enhancement of fish habitat in the associated creek area, and approximately 220' of new 14' wide driveway.

**Proposal (Updated) 5/21/2019:** Applicant is proposing to construct a new bridge to serve as the primary access for their existing residence. The proposed structure is approximately 960 square feet in size. Construction of the bridge will include enhancement of fish habitat in the associated creek area, and approximately 220' of new 16' wide driveway.

**Location:** 7501 Manastash Rd Ellensburg, approximately 5 miles Southwest of the City of Ellensburg, located at NW ¼ of section 14, township 17 N, range 17 E, WM in Kittitas County, parcel numbers 825033 & 10685

#### II. SITE INFORMATION

Total Property Size:	N/A
Number of Lots:	2
Domestic Water:	N/A
Sewage Disposal:	N/A
Power/Electricity:	N/A
Fire Protection:	Fire District 2
Irrigation District:	KRD Irrigation District

##### Site Characteristics:

**North:** Privately owned land, residential use

**South:** Privately owned land, residential use

**East:** Privately owned bare land

**West:** Privately owned land, residential use

**Access:** The site is accessed via Manastash Road.

**Zoning and Development Standards:** The subject properties are located on lands with a zoning designation of Agriculture 20. Kittitas County Code (KCC) 17.15.060.1, allows a single family residence in the zone as a permitted use. As the bridge is an associated structure with the SFR it is also a permitted use.

##### Shoreline Master Program

KCC 17B.07.060 provides the criteria for approving a Shorelines Substantial Development permit:

"2. Substantial development permits. A substantial development permit shall be granted only when the

applicant demonstrates all of the following:

- a. That the proposal is consistent with the policies and procedures in RCW Chapter 90.58 and WAC Chapter 173-27;
- b. That the proposal is consistent with the policies and procedures of the Master Program; and
- c. That the proposal has been appropriately conditioned where necessary to assure consistency of the project with the Act and the local Master Program”

### **III. ADMINISTRATIVE REVIEW**

**Deemed Complete:** A Shorelines Substantial Development permit application was submitted to Kittitas County Community Development Services (CDS) on July 30, 2018. The application was deemed complete on August 8, 2018.

**Notice of Application** A Notice of Application and SEPA review was mailed to all state and local agencies/departments with potential interest in the project as required by KCC 17B.07.070 and KCC 15A.03.060, as well as to adjacent landowners located within five hundred (500) feet of any portion of the boundary of the proposal's tax parcels on August 31, 2018. The comment period for this notice ended on October 1, 2018.

During the review of this application Public Works noted that the proposed project did not meet existing road standards. On January 22, 2019 the applicant submitted a road variance application to Public Works, said variance application was denied on March 20, 2019. Pursuant to this decision, the proposed project was revised to meet current road standards and new submittal documentation was received by CDS on May 21, 2019.

### **IV. ENVIRONMENTAL REVIEW**

Kittitas County completed a SEPA review pursuant to KCC 15.04.155. Notice of SEPA review was issued concurrently with the Notice of Application on August 31, 2018. The comment period for this notice ended on October 1, 2018. A Determination of Non significance was issued on June 19, 2019

### **V. AGENCY AND PUBLIC COMMENTS**

Applicable agencies, adjacent property owners, and interested parties have been given the opportunity to review this proposal. All comments are on file and available for public review. The following are a summary of the substantive comments submitted.

- Department of Ecology provided comment expressing concern around timing of the project and protecting existing habitat.
- Kittitas Valley Fire and Rescue provided comment regarding engineering and fire standards.
- Kittitas County Public Works provided comment concerning the design standards of the proposed bridge and driveway.
- Washington State Dept. of Fish and Wildlife provided comment expressing preservation of endangered species habitat and restoration of the stream where the project is taking place.
- No public comments were submitted

### **VI. PROJECT ANALYSIS**

In review of this proposal the Kittitas County Shorelines Master Program, the Goals, Policies and Objectives (GPO) of the Comprehensive Plan, Kittitas County Code, public and agency comments, any identified environmental concerns, and state and federal requirements were considered. Identified below is planning staff's analysis and consistency review for the subject application.

#### **Consistency with the Kittitas County Shoreline Master Program:**



In compliance with the Shorelines Management Act, Kittitas County has adopted Title 17B Shorelines. KCC 17B.07.060 requires that the applicant must demonstrate:

- a. That the proposal is consistent with the policies and procedures in RCW Chapter 90.58 and WAC Chapter 173-27;

*Staff Response: The proposal is consistent with both RCW 90.58 and WAC 173-27. The project as conditioned meets the requirements of the local shoreline program which was developed in accordance with state shoreline regulations.*

- b. That the proposal is consistent with the policies and procedures of the Master Program;

*Staff Response: The Kittitas County Shoreline Master Program Chapter 3 outlines goals and objectives of the program. The proposed project meets the intent of the SMP pursuant to the goals and objectives, and the appropriate permit process procedures have been followed.*

- c. That the proposal has been appropriately conditioned where necessary to assure consistency of the project with the Act and the local Master Program.

*Staff Response: This project has been reviewed and conditioned to ensure that it meets the intent and standards of the Shoreline Management Act and Kittitas County Shoreline Master Program.*

The Following Goals and Objectives of the Shoreline Master Program are applicable:

#### *SMP Goals*

*3.1(A)(4) Promote restoration of shoreline ecological functions and processes.*

*3.2(A)(1) Consider the use and development of shorelines and adjacent land areas for public and private land uses in relation to the natural environment.*

*3.2(A)(2) Ensure no net loss of ecological function.*

*Staff Response: This project has been reviewed and conditioned to ensure that it meets the intent of the above identified SMP Goals. The project takes place on private land currently used for residential purposes and includes habitat restoration and mitigation measures to ensure no net loss of ecological function.*

#### *SMP Objectives*

*3.2(B)(1) Give shoreline use preference to single-family residential uses, ports, shoreline recreational uses, and water-dependent commercial or industrial developments that are consistent with preservation of shoreline ecological functions and processes.*

*3.2(B)(4) Locate, design, and manage shoreline uses to prevent a net loss of shoreline ecological functions and processes over time. Where adverse impacts are unavoidable, require mitigation to ensure no net loss of shoreline ecological functions.*

*3.2(B)(5) Ensure proposed residential developments are compatible with or enhance the aesthetic quality of the shoreline area.*

*Staff Response: As proposed, the project fulfills these Objectives. As described in the application, the new bridge will provide access to a single-family residence. Construction of the bridge and driveway also includes waterway and habitat restoration and a vegetation plan to ensure the existing aesthetics. The project has also been conditioned to ensure no net loss of ecological function through mitigation requirements.*

**Consistency with the Comprehensive Plan:**

Chapter 2 section 5 of the Kittitas County Comprehensive Plan states that “the 2016 Kittitas County Shoreline Master Program goals and policies are adopted by reference into this comprehensive plan.

*Staff Consistency Statement: As conditioned, this project meets and conforms to the Shoreline Master Program. Therefor staff finds this project consistent with the comprehensive plan. See “Consistency with the Shoreline Master Program” above.*

GPO 8.14C Development shall be located distances from streams, rivers, lakes, wetlands, critical areas determined necessary and as outlined within existing Shorelines Management Program, the Critical Areas Ordinance and other adopted resource ordinances in order to protect ground and surface waters.

*Staff Consistency Statement: The proposed project has been mitigated accordingly to protect all associated resources and critical areas. Furthermore it meets the requirements of the Shoreline Master Program and KCC Title 17B.*

**Consistency with KCC 15, Environmental Policy:**

Kittitas County completed SEPA review. A Determination of Non-significance was issued on June 19, 2019. In addition a HPA application approved by the Washington State Department of Natural Resources is a condition of approval placed on this permit.

**Consistency with the provisions of KCC 17A, Critical Areas:**

An administrative critical area site analysis was completed by staff in compliance with Title 17A: Critical Areas. The site falls within the Shorelines of the State under the Rural Conservancy designation. In order to address concerns related to Critical Areas, the applicant has applied for a Shorelines Substantial Development Permit.

Based upon the critical areas analysis and report, the proposed use is consistent and in compliance with the Critical Areas Ordinance (and code) of Kittitas County (KCC 17A).

**Consistency with the provision of KCC 17.15, Allowed Uses:**

This project is associated with a Single Family Residence as described in the narrative and the SEPA checklist. This is established as a Permitted use in the Agriculture 20 zoning district. Based upon this assessment, the proposed use is consistent and in compliance with the criteria and requirements within the Allowed Use Chapter of Kittitas County Code.

**Consistency with the provision of KCC Title 12, Roads and Bridges:**

The proposed project has been reviewed by the Kittitas County Public Works Department and as conditioned it is consistent with the provisions of this title.

**Consistency with the Kittitas County Flood Damage Prevention:**

The proposed project is subject to all applicable flood permitting requirements. As conditioned it is consistent with these requirements.

**Consistency with the provisions of KCC Title 20, Fire and Life Safety:**

As conditioned, the proposal is consistent with the provisions of KCC Title 20.

**VII. FINDINGS OF FACT**

1. Mitch Williams is proposing to construct a new bridge to serve as the primary access for an existing residence. The proposed structure is approximately 960 square feet in size. Construction of the bridge will include enhancement of fish habitat in the associated creek area, and approximately 220' of new 16' wide driveway.
2. The proposed site is located at 7501 Manastash Rd Ellensburg, approximately 5 miles Southwest of the City of Ellensburg, located at NW ¼ of section 14, township 17 N, range 17 E, WM in Kittitas County, parcel numbers 825033 & 10685

3. Site Information:

Total Property Size:	N/A
Number of Lots:	2
Domestic Water:	N/A
Sewage Disposal:	N/A
Power/Electricity:	N/A
Fire Protection:	Fire District 2
Irrigation District:	KRD Irrigation District

4. Site Characteristics:

North:	Privately owned land, residential use
South:	Privately owned land, residential use
East:	Privately owned bare land
West:	Privately owned land, residential use
Access:	The site is accessed via Manastash Road.

5. The subject properties are located on lands with a zoning designation of Agriculture 20
6. A Shorelines Substantial Development permit application was submitted to Kittitas County Community Development Services (CDS) on July 30, 2018. The application was deemed complete on August 8, 2018.
7. A Notice of Application and SEPA review was mailed to all state and local agencies/departments with potential interest in the project as required by KCC 17B.07.070 and KCC 15A.03.060, as well as to adjacent landowners located within five hundred (500) feet of any portion of the boundary of the proposal's tax parcels on August 31, 2018. The comment period for this notice ended on October 1, 2018.
8. On January 22, 2019 the applicant submitted a road variance application to Public Works, said variance application was denied on March 20, 2019. Pursuant to this decision, the proposed project was revised to meet current road standards and new submittal documentation was received by CDS on May 21, 2019.
9. Kittitas County completed a SEPA review pursuant to KCC 15.04.155. Notice of SEPA review was issued concurrently with the Notice of Application on August 31, 2018. The comment period for this notice ended on October 1, 2018. A Determination of Non significance was issued on June 19, 2019.
10. The following agencies provided comments during the comment period: Washington State Department of Ecology, KittitasValley Fire and Rescue, Kittitas County Public Works, Washington State Department of Fish

and Wildlife.

11. No Public Comments were received.
12. The proposal is consistent with the provisions of KCC 17B, Shoreline Master Program as conditioned.
13. The proposal is consistent with the goals and policies of the Kittitas County Comprehensive Plan.
14. The proposal is consistent with the provisions of KCC 15, Environmental Policy.
15. The proposal is consistent with the provisions of KCC 17A, Critical Areas.
16. The proposal is consistent with the provision of KCC 17.15, Allowed Uses.
17. The proposal is consistent with the provisions of KCC Title 12, Roads and Bridges as conditioned.
18. The proposal is consistent with the provisions of Kittitas County Flood Damage Prevention as conditioned.
19. The proposal is consistent with KCC 20, Fire Life and Safety.

## VIII. CONCLUSIONS

1. As conditioned, the proposal meets the goals, policies and implementation recommendations as set forth in the Kittitas County Comprehensive Plan.
2. As conditioned, this proposal is consistent with applicable federal and state laws and regulations.
3. The proposal meets the criteria outlined in KCC 17B Shorelines.
4. As conditioned, the proposal is consistent with Kittitas County Code Title 12 Roads and Bridges, Title 17 Zoning, and Title 17A Critical Areas.

## IX. DECISION & CONDITIONS OF APPROVAL

From these conclusions and findings, the proposed Shorelines Substantial Development Permit is approved with the following conditions:

1. Development shall occur in substantial conformance with the updated plans and narrative dated May 21, 2019 on file with Kittitas County Community Development Services. Any alterations to this site plan shall be reviewed by Kittitas County prior to construction to ensure it still meets the requirements of all applicable regulations.
2. An approved HPA through the Department of Fish and Wildlife shall be submitted to CDS prior to issuance of the bridge permit.
3. CDS shall approve a vegetation mitigation plan pursuant to KCC 17B.05.020(b)(2) prior to issuance of the bridge permit.
4. An erosion plan shall be submitted to CDS in accordance with KCC 17B.06.080(15) prior to issuance of the bridge permit.
5. All in-stream construction shall occur from July to September during low flow of Manastash creek.
6. Construction pursuant to this permit shall not begin and is not authorized until twenty-one days from the date of filing as defined in RCW 90.58.140(6) and WAC 173-27-130
7. Environmental and statutory review shall be required for all future development, construction, and improvements; the applicant is responsible for compliance with all applicable local, state, and federal rules, codes, and regulations, and must obtain all appropriate permits and approvals. Failure to do so may result in the revocation of the shorelines substantial development permit.

**This decision can be appealed to the Shorelines Hearings Board within 21 days of the date of filing with the Washington State Department of Ecology pursuant to RCW 90.58.180.**

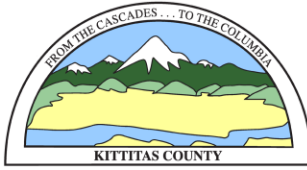
Responsible Staff

  
Chelsea Benner

Planner 1

**Address:** Kittitas County Community Development Services  
411 N. Ruby Street, Suite 2  
Ellensburg, WA. 98926  
Phone: (509) 962-7506

**Date:** June 20, 2019



## KITTTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTTITAS.WA.US

Office (509) 962-7506

Fax (509) 962-7682

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### NOTICE OF DECISION

**TO:** Applicant  
Interested Parties (KCC 15A.06)

**FROM:** Chelsea Benner, Staff Planner

**DATE:** June 20, 2019

**SUBJECT:** Notice of Decision and SEPA DNS  
Williams Shoreline Substantial Development Permit (SD-18-00001)

---

Notice is hereby given that on June 20, 2019, SEPA DNS and conditional approval for a Substantial Shoreline Development Permit was granted to Mitch Williams for the construction of a new bridge to serve as the primary access for an existing residence. The subject property is located at 7501 Manastash Rd Ellensburg, approximately 5 miles Southwest of the City of Ellensburg, located at NW ¼ of section 14, township 17 N, range 17 E, WM in Kittitas County, parcel numbers 825033 & 10685

Copies of the Community Development Decision as well as other related file documents may be examined at the Kittitas County Community Development Services (CDS) office at 411 N. Ruby, Suite 2, Ellensburg, Washington, 98926, or on the CDS website at <https://www.co.kittitas.wa.us/cds/land-use/default.aspx> then navigate to “Shoreline Substantial Development Permits” & “SD-18-00001”.  
Phone: (509) 962-7506:

Pursuant to Chapter 15A.07 KCC, this DNS may be appealed by submitting specific factual objections in writing with a fee of \$1560.00 to the Kittitas County Board of Commissioners, Kittitas County Courthouse Room 108, Ellensburg, WA 98926. Timely appeals must be received no later than 5:00pm, July 8, 2019.

This Shoreline decision can be appealed to the Shorelines Hearings Board within 21 days of the date of filing with the Washington State Department of Ecology pursuant to RCW 90.58.180.

---

## NOTICE OF DECISION

**Project Name (File Number):** Williams Shoreline Substantial Development Permit (SD-18-00001)

Notice is hereby given that on June 20, 2019, SEPA DNS and conditional approval for a Substantial Shoreline Development Permit was granted to Mitch Williams for the construction of a new bridge to serve as the primary access for an existing residence. The subject property is located at 7501 Manastash Rd Ellensburg, approximately 5 miles Southwest of the City of Ellensburg, located at NW ¼ of section 14, township 17 N, range 17 E, WM in Kittitas County, parcel numbers 825033 & 10685

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Phone: (509) 962-7506

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This Shoreline decision can be appealed to the Shorelines Hearings Board within 21 days of the date of filing with the Washington State Department of Ecology pursuant to RCW 90.58.180.

**Designated Permit Coordinator** Chelsea Benner, Staff Planner: (509)-962-7637; email at [Chelsea.benner@co.kittitas.wa.us](mailto:Chelsea.benner@co.kittitas.wa.us)

Dated: Wednesday, June 20, 2019  
Publication Dates: Wednesday, June 20, 2019, & June 27, 2019



# KITTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTITAS.WA.US

Office (509) 962-7506

Fax (509) 962-7682

"Building Partnerships – Building Communities"

## Affidavit of Mailing & Publication

PROPOSAL NAME: Williams Shoreline Substantial Development Permit, File Number SD-18-00001

NOTIFICATION OF: Notice of SEPA Action & Decision

NOTIFICATION MAIL DATE: 6/20/19

I certify that the following documentation:

- Notice of SEPA Action & Decision: Williams Shoreline Substantial Development Permit, File Number SD-18-00001

has been mailed to the attached list of persons and participants, and that proper notification (as attached) has been published in the Legal Newspaper(s) of Record for Kittitas County.

Signature

Chelsea Benner  
Planner I  
County of Kittitas  
State of Washington

Subscribed and sworn to before me this 20<sup>th</sup> day of June, 2019



Kathy Boots  
Notary Public for the State of Washington residing  
in Ellensburg.

My appointment expires: 10-13-2020



## Chelsea Benner

---

**From:** Megan Woodruff <mwoodruff@kvnews.com>  
**Sent:** Wednesday, June 19, 2019 10:06 AM  
**To:** Chelsea Benner  
**Subject:** Re: Confirmation: Ad 1913935 for KC COMMUNITY DEVELOPMENT SERVICES

Thanks Chelsea!

## Megan Woodruff

Advertising Assistant  
Ellensburg Daily Record  
(509) 925-1414, ext. 253  
[mwoodruff@kvnews.com](mailto:mwoodruff@kvnews.com) / [legals@kvnews.com](mailto:legals@kvnews.com)

**[MY OFFICE HOURS: MON-FRI: 8:00am-4:30pm]**

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**From:** Chelsea Benner <[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)>  
**Sent:** Wednesday, June 19, 2019 9:59 AM  
**To:** Megan Woodruff  
**Subject:** RE: Confirmation: Ad 1913935 for KC COMMUNITY DEVELOPMENT SERVICES

Looks Good!

## *Chelsea Benner*

Planner I  
Kittitas County Community Development Services  
411 N Ruby Street, Suite 2 Ellensburg, WA 98926  
(p) 509-962-7506 (f) 509-962-7682  
[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)

---

**From:** Megan Woodruff [<mailto:mwoodruff@kvnews.com>]  
**Sent:** Wednesday, June 19, 2019 9:56 AM  
**To:** Chelsea Benner  
**Subject:** Confirmation: Ad 1913935 for KC COMMUNITY DEVELOPMENT SERVICES

Thanks again, Chelsea!

Please see attached for the legal proof scheduled to run on June 20 and 27.

Please reply back with a final approval or changes by 11:00am this morning.

Hope you're having a great day so far,

## Megan Woodruff

Advertising Assistant  
Ellensburg Daily Record  
(509) 925-1414, ext. 253

[mwoodruff@kvnews.com](mailto:mwoodruff@kvnews.com) / [legals@kvnews.com](mailto:legals@kvnews.com)

**[MY OFFICE HOURS: MON-FRI: 8:00am-4:30pm]**

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**From:** Chelsea Benner <[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)>

**Sent:** Wednesday, June 19, 2019 9:51 AM

**To:** Megan Woodruff

**Subject:** RE: Notice of Decision

Changed all the dates to one day ahead 😊

### *Chelsea Benner*

Planner I

Kittitas County Community Development Services

411 N Ruby Street, Suite 2 Ellensburg, WA 98926

(p) 509-962-7506 (f) 509-962-7682

[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)

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**From:** Megan Woodruff [<mailto:mwoodruff@kvnews.com>]

**Sent:** Wednesday, June 19, 2019 9:48 AM

**To:** Chelsea Benner

**Subject:** Re: Notice of Decision

Good morning Chelsea!

Thanks for the heads up! I have everything formatted and was just about to send you a proof. What is the specific change you made?

Thanks again,

## Megan Woodruff

Advertising Assistant  
Ellensburg Daily Record  
(509) 925-1414, ext. 253

[mwoodruff@kvnews.com](mailto:mwoodruff@kvnews.com) / [legals@kvnews.com](mailto:legals@kvnews.com)

**[MY OFFICE HOURS: MON-FRI: 8:00am-4:30pm]**

---

**From:** Chelsea Benner <[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)>

**Sent:** Wednesday, June 19, 2019 9:32 AM

**To:** Megan Woodruff

**Subject:** Notice of Decision

I apologize I had to make a correction to the notice. The corrected version is attached.  
Thank you!

*Chelsea Benner*

Planner I

Kittitas County Community Development Services

411 N Ruby Street, Suite 2 Ellensburg, WA 98926

(p) 509-962-7506 (f) 509-962-7682

[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)

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Notice: Email sent to Kittitas County may be subject to public disclosure as required by law.  
message id: 38eb45916c6dcbdac24bb8719d004a14

**KITTITAS COUNTY**  
**COMMUNITY DEVELOPMENT SERVICES**  
411 NORTH RUBY STREET, SUITE 2  
ELLENSBURG, WA 98926

Mitch Williams  
PO Box 1702  
Ellensburg, WA  
98926

**KITTITAS COUNTY**  
**COMMUNITY DEVELOPMENT SERVICES**  
411 NORTH RUBY STREET, SUITE 2  
ELLENSBURG, WA 98926

Paul Tappel  
3100 243<sup>rd</sup> St. SW  
Brier, WA 98036

## Chelsea Benner

---

**From:** Chelsea Benner  
**Sent:** Thursday, June 20, 2019 8:29 AM  
**To:** 'crosepacoordinator@ecy.wa.gov'; RichElliott; Holly Erdman; Taylor Gustafson; Mark Cook; Jen Nelson  
**Cc:** 'Paul Tappel'; 'Mitch Williams'  
**Subject:** Notice of Decision SD-18-00001  
**Attachments:** SD-18-00001 Williams DNS.PDF; SD-18-00001 Williams FINDINGS OF FACT, DECISION, AND CONDITIONS.PDF; SD-18-00001 Williams NOD Memo.pdf

Good Morning,

Please see the attached notice and decision documents for the Williams bridge Shoreline Substantial Development permit.

Thank you!

*Chelsea Benner*

Planner I

Kittitas County Community Development Services

411 N Ruby Street, Suite 2 Ellensburg, WA 98926

(p) 509-962-7506 (f) 509-962-7682

[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)

WAC 173-27-990

Appendix A.

Appendix A

Shoreline Management Act  
Permit Data Sheet and Transmittal Letter

From: (local government) Kittitas County  
411 N. Ruby St. Ste 2  
Ellensburg, WA 98926  
Date of Transmittal: 6/20/19

To: (appropriate Ecology office) 1250 W. Alder St.  
Union Gap, WA  
98903-0009  
Date of Receipt: (provided by Ecology)

Type of Permit: (Indicate all that apply)  
Substantial Development Conditional Use ; Variance ; Revision ; Other .  
Local Government Decision: Approval Conditional Approval Denial :

Applicant Information: Name: Mitch Williams  
Address: PO Box 1702  
Ellensburg, WA  
98926  
Phone(s): 509-899-0168

Applicant's Representative: (if primary contact) Name: Paul Tappel  
Address: 3100 243rd St. SW  
Brier, WA 98030  
Phone(s): 425-478-7766

Is the applicant the property owner? yes no  
Location of the Property: (Section Township and Range to the nearest 1/4, 1/4 Section or latitude and longitude, and a street address where available)  
7501 Manastash Rd. Ellensburg, WA 98926 (2 properties)  
SEC 11, TWP 17, RGE 17  
PTN SE 1/4 SEC 11, & PTN NE 1/4 SEC 14, SEC 11, TWP 17, RGE 17  
Water Body Name: Manastash Creek

Shoreline of Statewide Significance: Yes No .  
Environment Designation: Rural Conservancy  
Description of the Project: (Summary of the intended use or project purpose)

Construction of a new bridge and portion of driveway  
to access existing SFR. New bridge is approx 960<sup>sq</sup> ft, new driveway  
is approx. 220' long, 116' wide. project includes fish habitat enhancement.

Notice of Application Date: 8/31/18 Final Decision Date: 6/20/19  
By: (Local Government Primary Contact on this Application) Chelsea Benner  
Phone No: 509 962-7637

[Statutory Authority: RCW 90.58.140(3) and [90.58].200. WSR 96-20-075 (Order 95-17), § 173-27-990, filed 9/30/96, effective 10/31/96.]

## Chelsea Benner

---

**From:** Chelsea Benner  
**Sent:** Thursday, June 20, 2019 9:08 AM  
**To:** SEPA  
**Subject:** SEPA Decision  
**Attachments:** SD-18-00001 Williams DNS.PDF; SE-18-00007 Williams SEPA Checklist.pdf

Hello,  
Please see the attached DNS and Checklist.  
Thank you!

*Chelsea Benner*

Planner I  
Kittitas County Community Development Services  
411 N Ruby Street, Suite 2 Ellensburg, WA 98926  
(p) 509-962-7506 (f) 509-962-7682  
[chelsea.benner@co.kittitas.wa.us](mailto:chelsea.benner@co.kittitas.wa.us)